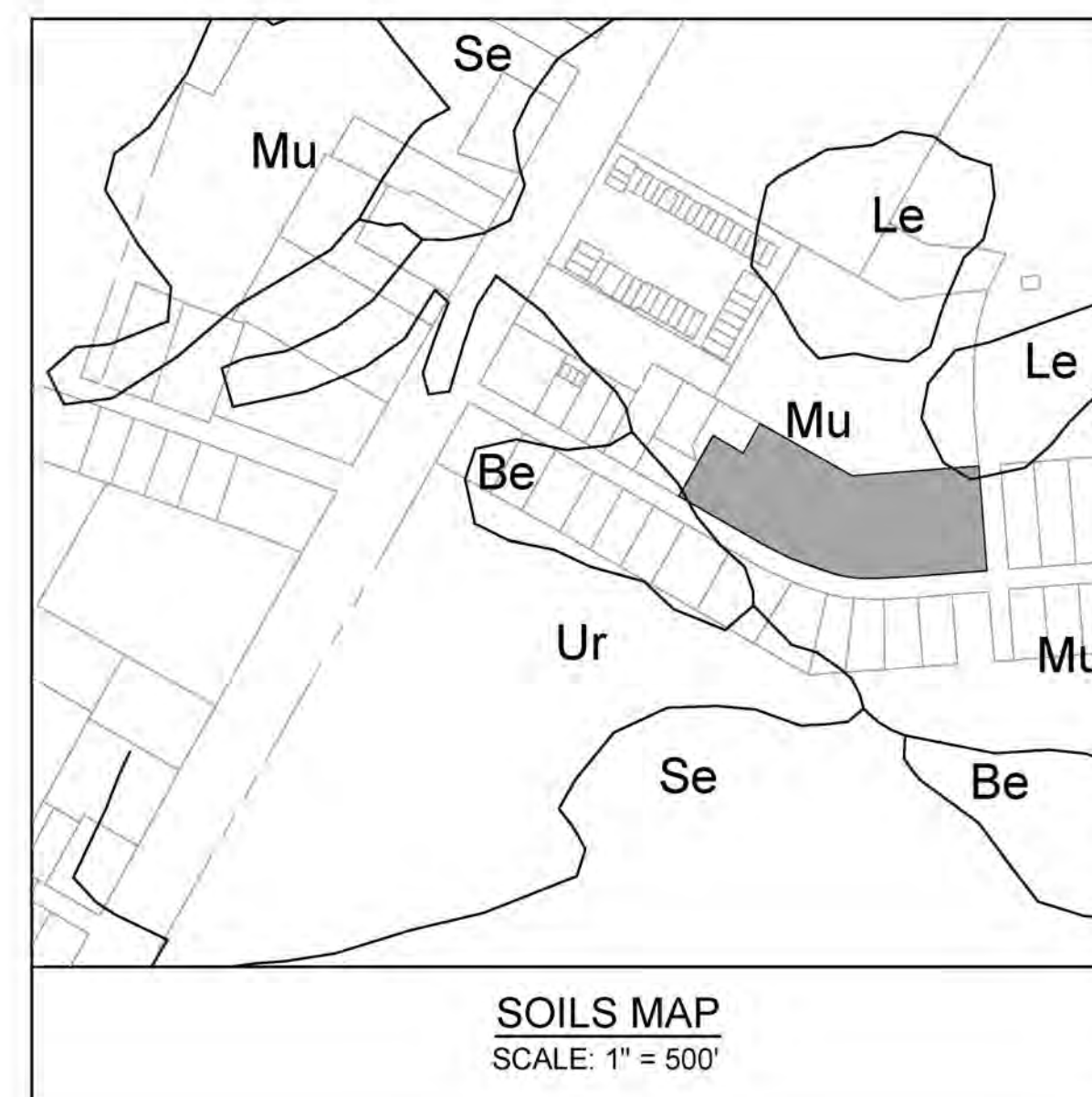
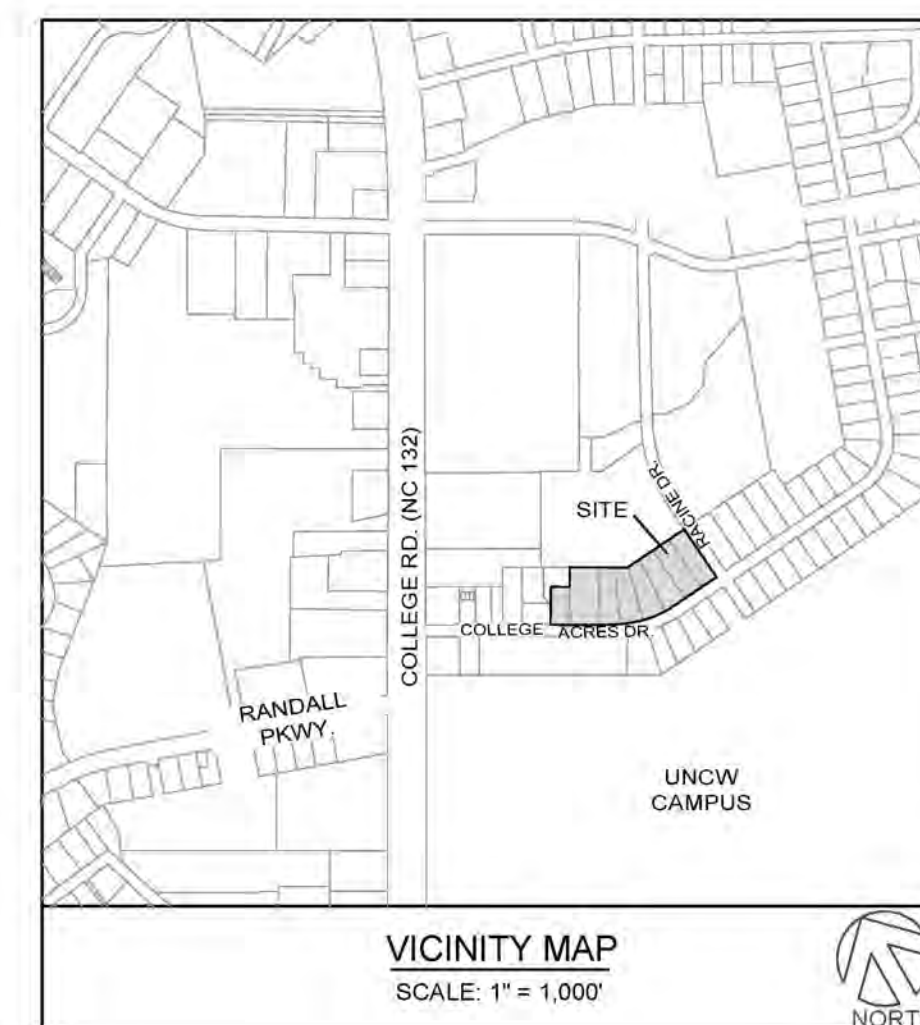


COLLEGE ACRES APARTMENTS

COLLEGE ACRES & RACINE DRIVE
WILMINGTON, NORTH CAROLINA

CONSTRUCTION DOCUMENTS
NOVEMBER 5, 2020



NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTRACTOR SHALL CONTACT AT&T PRIOR TO ANY DEMOLITION TO ALLOW FOR AT&T TO DISCONNECT COMMUNICATIONS CABLES COMING INTO THE SITE.

CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT
ATTN: PAT O'MAHONEY, PLANNER
PH: 910-341-4661

ATTN: ZONING INSPECTIONS
PH: 910-254-0900

PIEDMONT NATURAL GAS (DUKE ENERGY)
ATTN: CATHY PLEASANT
PH: 910-251-2827

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE
ATTN: CITY OF WILMINGTON FIRE & LIFE SAFETY
PH: 910-343-0686

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)
ENGINEERING/INSPECTIONS
PH: 910-332-6560

OPERATIONS/MAINTENANCE
PH: 910-322-6550

DUKE ENERGY
DISTRIBUTION CONSTRUCTION SERVICE
DEP CSC PH: 1-800-452-2777

TRANSMISSION AGENT
BILL WILDER
PH: 910-772-4903

AT&T/BELL SOUTH
ATTN: STEVE DAYVAULT (BUILDING ENGINEERING)
PH: 910-341-0741

ATTN: JAMES BATSON, ENGINEERING
PH: 910-341-1621

SPECTRUM
GENERAL PH: 800-892-4357



COLLEGE ACRES APARTMENTS

PROJECT # 19443.PE

NOVEMBER 5, 2020

SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0-1.1	GENERAL NOTES
C-2.0	OVERALL SITE PLAN
C-2.1	SITE INVENTORY & DEMOLITION
C-2.2	TREE REMOVAL PLAN
C-3.0	EROSION CONTROL PLAN
C-4.0	GRADING & DRAINAGE PLAN
C-5.0	UTILITY PLAN
C-6.0-6.3	CIVIL DETAILS
C-6.4-6.5	CFPUA UTILITY DETAILS
L-1.0	LANDSCAPE PLAN
L-1.1	TRUCK TURNING & OPEN SPACE PLAN

PROJECT DEVELOPER

College Acres Development, LLC
5217 Market Street
Wilmington, NC 28403
Attn: David DeSpain

PROJECT BUILDER

College Acres Realty II, LLC
440 West Market Street
Greensboro, NC 27401
Attn: Chester H. Brown, III

DESIGN CONSULTANTS

PARAMOUNTE ENGINEERING, INC.
122 CINEMA DR., WILMINGTON NC 28403
(910) 791-6707
CIVIL ENGINEER: J. BRANCH SMITH, PE
LANDSCAPE ARCHITECT: ALLISON ENGBRETSON, RLA
SURVEYOR: CHRIS GAGNE, PLS

Approved Construction Plan

Date: 11/5/20
2020035
SWP #: 2020036

WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

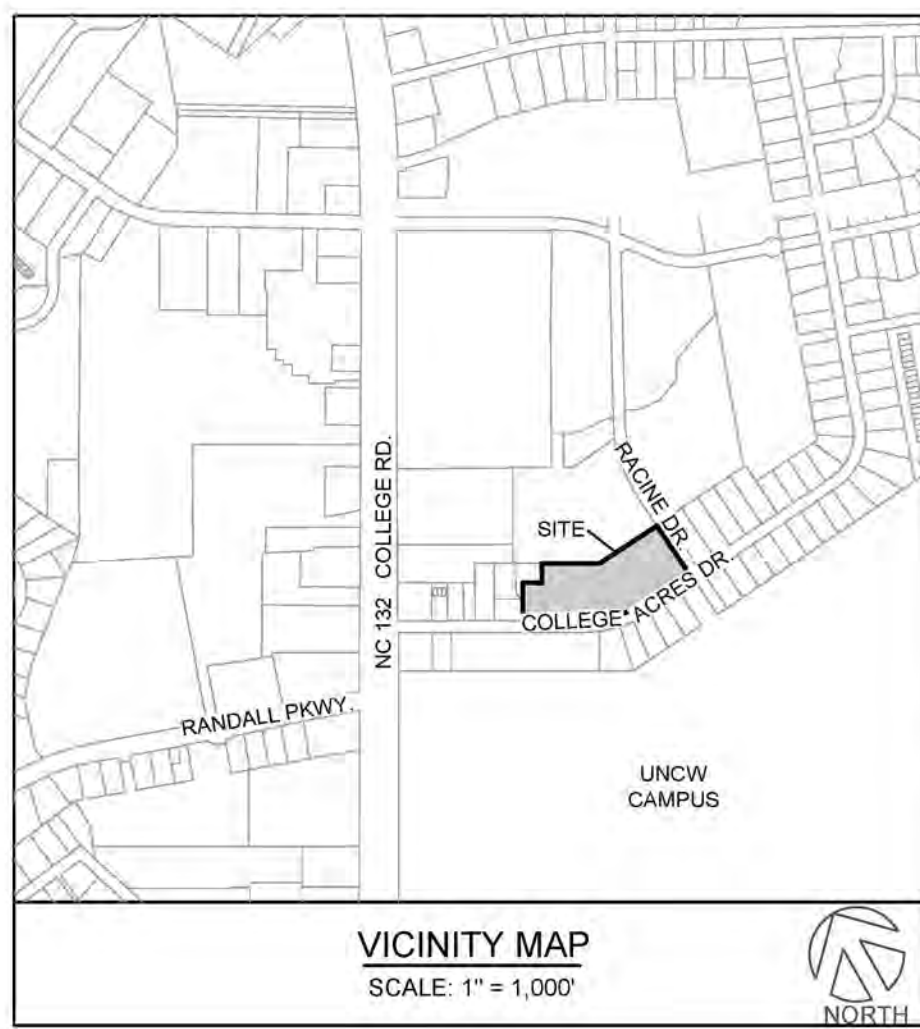
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

PREPARED BY:

PARAMOUNTE
ENGINEERING, INC.
122 Cinema Drive Wilmington, North Carolina 28403
(910) 791-6707 (C) (910) 791-6760 (F)
NC License #: C-2846

Professional Seal redacted on electronic copy per City of Wilmington Policy

RELEASED FOR CONSTRUCTION



SITE INFORMATION:

PARCEL ID# R05508-002-007 thru 014-000
 CURRENT ZONING: MF-M (CD)
 EXISTING USE: SINGLE-FAMILY RESIDENCES
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL
 PROPERTY AREA: ± 5.53 ACRES (± 241,062 SF)
 PROJECT LIMITS AND DISTURBANCE: ± 5.40 ACRES
 OWNER INFORMATION: SEE SHEET C-2.1 SITE INVENTORY PLAN

FLOOD INFORMATION: THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3720314700K DATED AUGUST 28, 2018.

FEMA FLOODPLAIN NOTE: N/A
 CONSERVATION RESOURCES DISTRICT: N/A
 OVERLAY ZONE: FLOODPLAIN
 CAMA AREAS OF ENVIRONMENTAL CONCERN: COLLEGE RD.
 CAMA FUTURE LAND USE: URBAN
 EXISTING HISTORIC AND ARCHAEOLOGICAL SITE: N/A
 EXISTING WETLANDS OR STREAMS: N/A
 EXISTING SURFACE WATERS: N/A

GENERAL NOTES

- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NC DOT STANDARDS.
- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- COMMON DUMPSTER PROVIDED FOR DEVELOPMENT TRASH DISPOSAL.
- CONTRACTOR SHALL REFER TO LANDSCAPE PLAN FOR SPECIFIC TREE REMOVAL AND OTHER LANDSCAPING DETAILS.
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'
- THERE ARE NO WETLANDS LOCATED ON SITE.

DIMENSIONAL REQUIREMENTS:

MF-M (CD)
 PROVIDED BUILDING SETBACKS:
 - FRONT (COLLEGE ACRES DR): 20' (REQ'D 15' DUPLEX)
 - REAR (CAMPUS EDGE APARTMENTS): 25' (REQ'D 25' MF)
 - SIDE (BUFFERYARD): 20' (REQ'D 5' DUPLEX)
 - CORNER SIDE: 30' (REQ'D 30' MF)
 - BUILDING HEIGHT: <35' (REQ'D 35' HEIGHT)

IMPERVIOUS DATA:

IMPERVIOUS AREA:
 EXISTING BUILDING: 20,800 SF
 EXISTING PAVEMENT: 13,000 SF
 EXISTING GRAVEL: 3,350 SF
 TOTAL EXISTING IMPERVIOUS: 37,150 SF (TO BE REMOVED)

PROPOSED BUILDINGS: 53,805 SF
PROPOSED PAVEMENT: 55,800 SF
PROPOSED SIDEWALKS: 11,500 SF
OTHER: 2,740 SF
FUTURE: 2,000 SF
TOTAL NEW IMPERVIOUS: 125,945 SF (52% OF PROPERTY)

OFFSITE IMPERVIOUS: 4,500 SF (TO WETLAND)
PERV. PAVEMENT IMPERVIOUS: 31,605 SF
SW WETLAND IMPERVIOUS: 98,840 SF
NET IMPERVIOUS TO WETLAND: 98,840 - 37,150 SF = 61,690 SF TO WETLAND

OPEN SPACE DATA:

MF-M REQUIRED: 35% OF TOTAL PROPERTY SUBTRACT NATURAL OR STORMWATER FEATURES:
 TOTAL REQ'D = 241,062 x 0.35
 TOTAL REQ'D = 84,371 SF

RECREATION AREA REQUIRED: 50% OF OPEN SPACE = 42,186 SF REQ'D

RECREATION AREA PROVIDED: ACTIVE SPACE (AMENITY, LOOP WALKS, & TWO OPEN YARDS) TOTAL = 28,181 SF
 PASSIVE SPACE (BUILDING YARDS, TWO OPEN YARDS & WETLAND) TOTAL = 48,367 SF

OPEN SPACE PROVIDED = 88,845 SF
 (78,548 SF OF RECREATION SPACE & 12,297 SF OF REMAINING UNCOVERED LANDS)

BUILDING INFORMATION:

BUILDING COVERAGE:
 (9) 2-STORY DUPLEXES @ 2,200 SF±
 BUILDING NO.'s 1-18

(5) 3-STORY MULTI-FAMILY @ 6,100 SF±
 BUILDING NO.'s 19-23

(1) 1-STORY CLUBHOUSE @ 2,700 SF±
 *TOTAL SF: 53,805 SF± (±22.02%)
 (MF-M ALLOWS 30% MAX.)

TOTAL GROSS FLOOR AREA:
 (9) 2-STORY DUPLEXES @ 4,400 SF±
 (5) 3-STORY MULTI-FAMILY @ 18,300 SF±
 (1) 1-STORY AMENITY CENTER @ 2,700 SF±
 *TOTAL SF: 133,900 SF± GFA

CONSTRUCTION TYPE:

VB SPRINKLER SYSTEM

PARKING DATA:

MINIMUM: 18 - 4BR UNITS @ MIN. 4 SPACE / UNIT = 72
 60 - 3BR UNITS @ MIN. 2.25 SPACE / UNIT = 135
 MIN. TOTAL SPACES = 207 SPACES*
 *SPACES ABOVE MIN. MUST BE PERVIOUS PER COND. DISTRICT

MAXIMUM: 18 - 4BR UNITS @ MAX. 4 SPACE / UNIT + 10% = 73
 60 - 3BR UNITS @ MAX. 2.50 SPACE / UNIT = 150
 MAX. TOTAL SPACES ALLOWED = 223 SPACES

PROVIDED: 241 SPACES PER (69 PERVIOUS PAVEMENT SPACES > REQ'D = 37)

ACCESSIBLE PARKING: 241 TOTAL REQUIRES 5 STD. & 2 VAN SPACES TOTALS 7 PROVIDED, 9 SPACES INCL. 8 VAN SPACES

BIKE SPACES: REQUIRED = 30 MIN PROVIDED = 7 @ 5 SPACE RACK = 35 SPACES

TRAFFIC DATA:

- TABLE 4.1.1 BELOW INDICATES THAT THIS PORTION OF COLLEGE ACRES DRIVE IS CURRENTLY OPERATING WITHIN ITS DESIGNED CAPACITY AT A LEVEL OF SERVICE (LOS) OF A. HOWEVER, BOTH MAJOR INTERSECTIONS WITH COLLEGE ACRES DR. INCLUDING S. COLLEGE ROAD AND RACINE DRIVE, ARE OPERATING BEYOND THEIR DESIGN CAPACITY AT A LOS OF F. TABLE 4.1.2 INDICATES THAT ESTIMATED VEHICLE TRIPS ASSOCIATED WITH THE PROPOSED USE WOULD BE GREATER THAN DEVELOPMENT UNDER THE EXISTING ZONING DISTRICT.
- BASED ON THE ESTIMATED TRIP GENERATION A TRAFFIC IMPACT ANALYSIS (TIA) IS NOT REQUIRED.
- THE DEVELOPMENT PROVIDES DRIVEWAY ACCESSSES OFF OF COLLEGE ACRES DRIVE AND RACINE DRIVE.
- A RECENT TRAFFIC IMPROVEMENT AT THE INTERSECTION OF COLLEGE ACRES DRIVE AND RACINE DRIVE CURRENTLY RESTRICTS LEFT TURN MOVEMENTS AT THIS INTERSECTION.
- THE SITE CONNECTS TO THE EXISTING SIDEWALK NETWORK ALONG RACINE DRIVE WHICH PROVIDES PEDESTRIAN ACCESS TO THE UNCW CAMPUS AND EXISTING COMMERCIAL USES TO THE NORTH.

Table 4.1.1 Current Volumes, Capacities and Levels of Service

Road	Location	Volume	Capacity	V/C	LOS
College Acres Dr	Between S. College Hill and Racine Dr.	826	8,400	0.09	A
S. College Rd	Between College Acres Dr and Racine Drive	76,547	41,700	1.8	F
Racine Dr	Between College Acres Dr and MacCormick Dr.	21,464	10,000	2.1	F

Table 4.1.2 Estimated Trip Generation

Zoning	Land Use	Intensity	All Peak Hour Trips	PM Peak Hour Trips	Average Weekly 2-Way Volume Trips (ADT)
Existing	Single Family detached	11 units	13	12	136
Proposed	Duplexes	18 units	9	13	95
Proposed	M-Family	50 units	21	27	304
Proposed	M-Family	50 units	21	27	304
Total		79	30	40	419

BUFFER/ SCREENING INFORMATION:

STREETYARDS: MF-M MULTIPLIER = 18
 COLLEGE ACRES = (824 LF OF FRONTAGE - 24' OF DRIVEWAY) X 18 = 16,200 SF
 16,200 SF / 600 SF = 27 CANOPY TREES
 27 * 6 SHRUBS = 162 SHRUBS (12' HGT. AT PLANTING)
 RACINE DRIVE = (290 LF OF FRONTAGE - 24' OF DRIVEWAY) X 9 (1/2 MF-M) = 2,394 SF
 2,394 SF / 600 SF = 4 CANOPY TREES
 4 * 6 SHRUBS = 24 SHRUBS (12' HGT. AT PLANTING)

WEST BUFFER: 403LF x 8' DEPTH MIN. W/ 8' WOOD SCREEN FENCE W/ DOUBLE ROW OF SHRUBS

SCREENING: ALL DUMPSTERS, HVAC, MECHANICAL EQUIPMENT AND ANY OTHER ITEMS REQUIRING SCREENING AS DEFINED BY THE CITY OF WILMINGTON LDC TO BE SCREENED IN ACCORDANCE WITH SECTION 18-504.

WATER & SEWER CAPACITY:

ALL EXISTING WATER AND SEWER UTILITIES ARE SERVICED BY CFPWA

SANITARY SEWER: MULTI-FAMILY - ASSUMING 120 GPD/BED
 PROPOSED - 252 BDRM @ 120 GPD = 30,240 GPD
 WATER PROPOSED 125% OF SEWER DEMAND = 37,800 GPD
 EXISTING ESTIMATION = ±2880 GPD

CD-11-320 CONDITIONS:

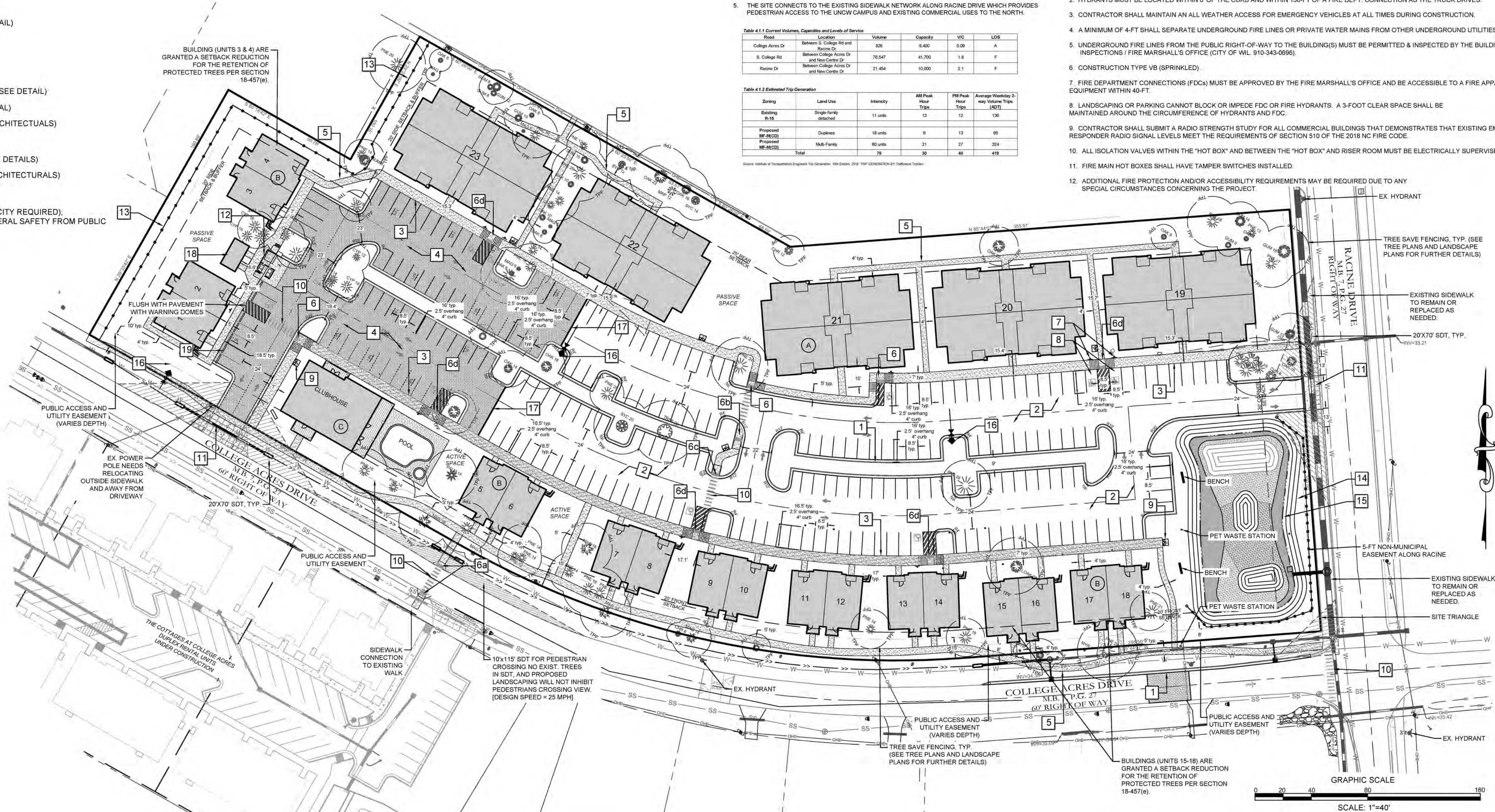
- The use and development of the property shall comply with all regulations and requirements imposed by the Land Development Code, the City of Wilmington Technical Standards and Specifications Manual and any other applicable federal, state or local law, ordinance or regulation, as well as any condition stated below. In the event of a conflict, the more stringent requirement or higher standard shall apply.
- Approval of this conditional district rezoning does not constitute technical approval of the site plan. Final approval by the Technical Review Committee and the issuance of all required permits must occur prior to release of the project for construction.
- If, for any reason, any condition for approval is found to be illegal or invalid or if the applicant should fail to accept any condition following approval, the approval of the site plan for the district shall be null and void and of no effect and proceedings shall be instituted to rezone the property to its previous zoning classification.
- The use and development of the property shall be in accordance with the site plan and elevation approved by City Council.
- The proposed use shall be limited to 9 duplexes and 5 buildings with 12 multi-family residential units in each for a total of 78 residential units.
- Access shall be limited to one driveway off College Acres Drive and one driveway off of Racine Drive.
- Building footprints, parking areas, and stormwater control measures shall be adjusted to preserve protected trees to the maximum extent practical. Protected trees not located within the building footprint or impacted by essential site improvements shall be preserved.
- Parking in excess of 207 spaces shall be constructed of pervious materials, with a maximum allowance of 250 spaces.
- Exterior lighting shall be installed so as not to shine directly onto adjacent residential parcels.
- All city, state and federal regulations shall be followed.
- The duplex units shall have facades similar to the elevations provided in this summary, while the apartment structures shall incorporate similar colors, materials, and architectural features as shown in the provided elevations.
- Units adjacent to College Acres Drive and Racine Drive shall include entrances that front the right-of-ways.
- Sidewalk connections shall be provided between all units fronting College Acres Drive and the public sidewalk required along the College Acres Drive frontage.

FIRE AND LIFE SAFETY NOTES

- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
- HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB AND WITHIN 150-FT OF A FIRE DEPT. CONNECTION AS THE TRUCK DRIVES.
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- A MINIMUM OF 4-FT SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- UNDERGROUND FIRE LINES FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING(S) MUST BE PERMITTED & INSPECTED BY THE BUILDING INSPECTIONS / FIRE MARSHALL'S OFFICE (CITY OF WL - 910-343-0896).
- CONSTRUCTION TYPE VB (SPRINKLED).
- FIRE DEPARTMENT CONNECTIONS (FDCs) MUST BE APPROVED BY THE FIRE MARSHALL'S OFFICE AND BE ACCESSIBLE TO A FIRE APPARATUS EQUIPMENT WITHIN 40-FT.
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC.
- CONTRACTOR SHALL SUBMIT A RADIO STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
- ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND RISER ROOM MUST BE ELECTRICALLY SUPERVISED.
- FIRE MAIN HOT BOXES SHALL HAVE TAMPER SWITCHES INSTALLED.
- ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.

SITE KEYNOTES:

- 24" CURB & GUTTER (TYPICAL - SEE DETAIL)
- ASPHALT PARKING PAVEMENT (TYPICAL - SEE DETAIL)
- 4" CONCRETE TURNDOWN WALK (TYPICAL - SEE DETAIL)
- PERVIOUS PAVEMENT (TYPICAL - SEE DETAIL)
- CONCRETE SIDEWALK (4ft, 5ft, & 7ft - SEE DETAIL)
- TYPE 1B HANDICAP RAMP (TYPICAL - SEE DETAIL)
- CITY STD. 3-07 HANDICAP RAMP (TYPICAL - SEE DETAIL)
- TYPE 1 HANDICAP RAMP (TYPICAL - SEE DETAIL)
- TYPE 3 HANDICAP RAMP (TYPICAL - SEE DETAIL)
- TYPE 2 HANDICAP RAMP (TYPICAL - SEE DETAIL)
- PROPOSED ACCESSIBLE PARKING SIGN (TYPICAL - SEE DETAIL)
- PROPOSED ACCESSIBLE SPACE WITH AISLE (TYPICAL)
- PROPOSED BIKE RACK (5-SPACE, TYPICAL - REF. ARCHITECTURALS)
- PROPOSED CROSSWALK (TYPICAL - SEE DETAIL)
- PROPOSED CITY STD. DRIVE APRON (TYPICAL - SEE DETAILS)
- COMPACTOR WITH ENCLOSURE (TYPICAL - REF. ARCHITECTURALS)
- 8-FT SCREENING FENCE WITHIN BUFFER
- 4-FT DECORATIVE FENCE AROUND WETLAND (NOT CITY REQUIRED). ONLY FACING THE PUBLIC RIGHT OF WAY FOR GENERAL SAFETY FROM PUBLIC
- STORMWATER WETLAND
- PROPOSED FIRE HYDRANT
- 12" CONCRETE HEADER CURB (SEE DETAIL)
- OUTDOOR MAIL KIOSK & PACKAGE LOCKERS (REF. ARCH. PLANS)
- WHEEL STOPS (SEE DETAIL)



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Approved Construction Plan
 Date: 11/5/20
 # 2020035
 SWP #: 2020036

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

REVISIONS:

CLIENT INFORMATION:
 COLLEGE ACRES DEVELOPMENT, LLC
 5217 MARKET STREET
 WILMINGTON, NC 28405

PARAMOUNT
 ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 NC License #: C-2846

SITE PLAN
 COLLEGE ACRES APARTMENTS
 COLLEGE ACRES DRIVE
 WILMINGTON, NEW HANOVER CO., NC

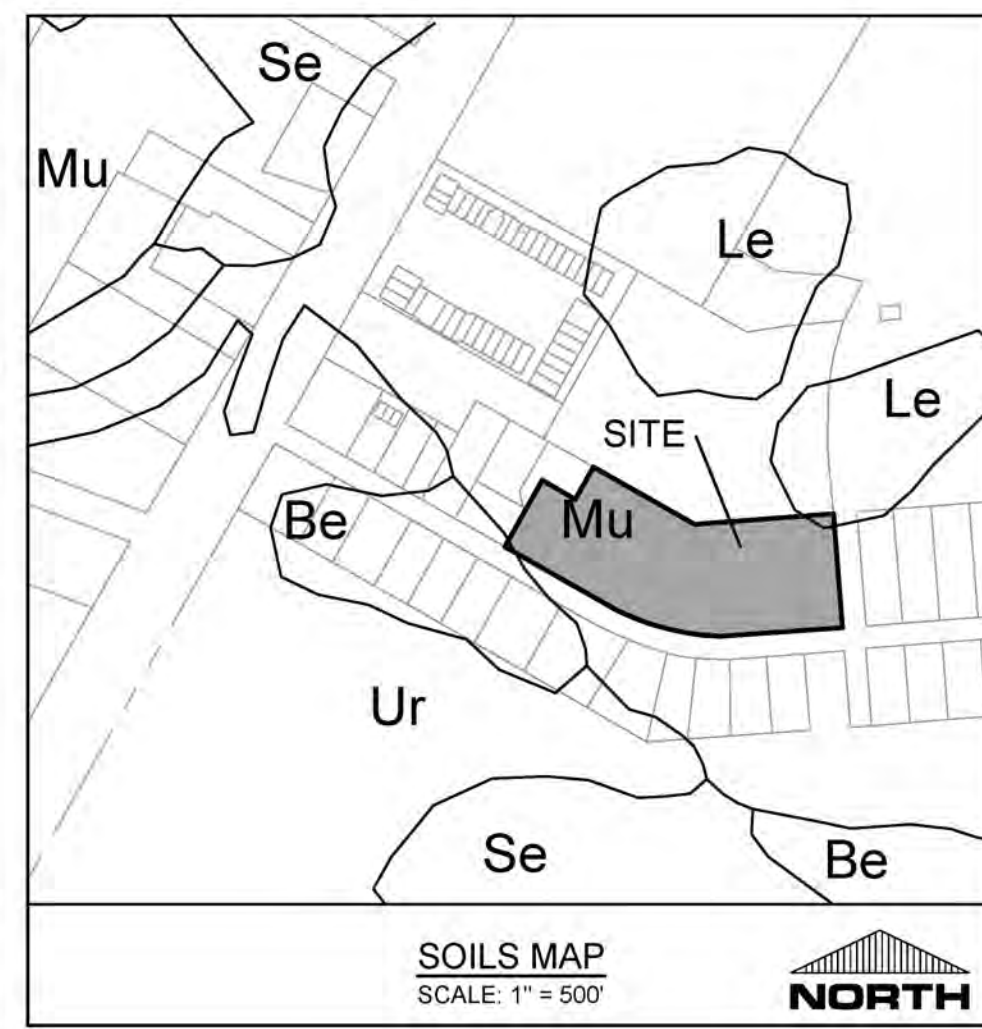
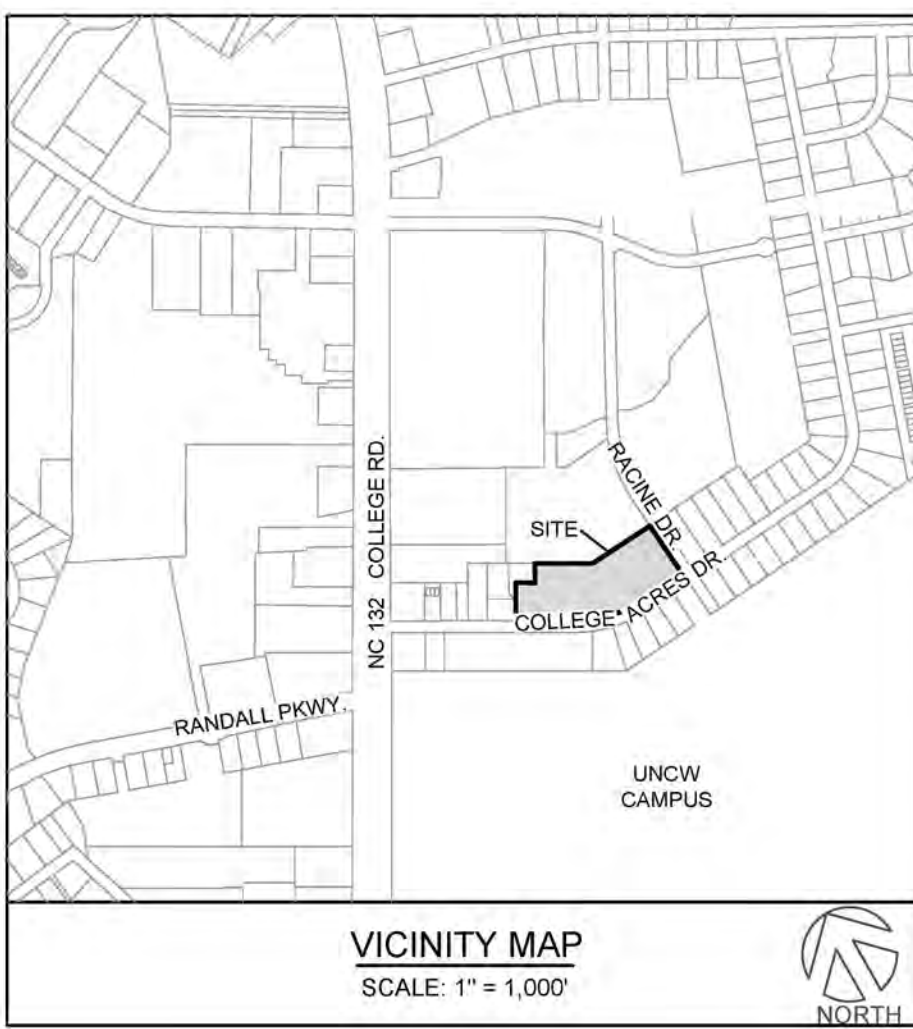
PROJECT STATUS:
 CONCEPTUAL LAYOUT: 09/28/20
 PRELIMINARY DESIGN: 10/13/20
 FINAL DESIGN: 10/13/20
 RELEASED FOR CONST.:

DRAWING INFORMATION:
 DATE: 07/31/19
 SCALE: 1" = 40'
 DRAWN: JON
 CHECKED: TOC

Professional Seal redacted on electronic copy per City of Wilmington Policy

C-2.0
 PEI JOB#: 19443 PE

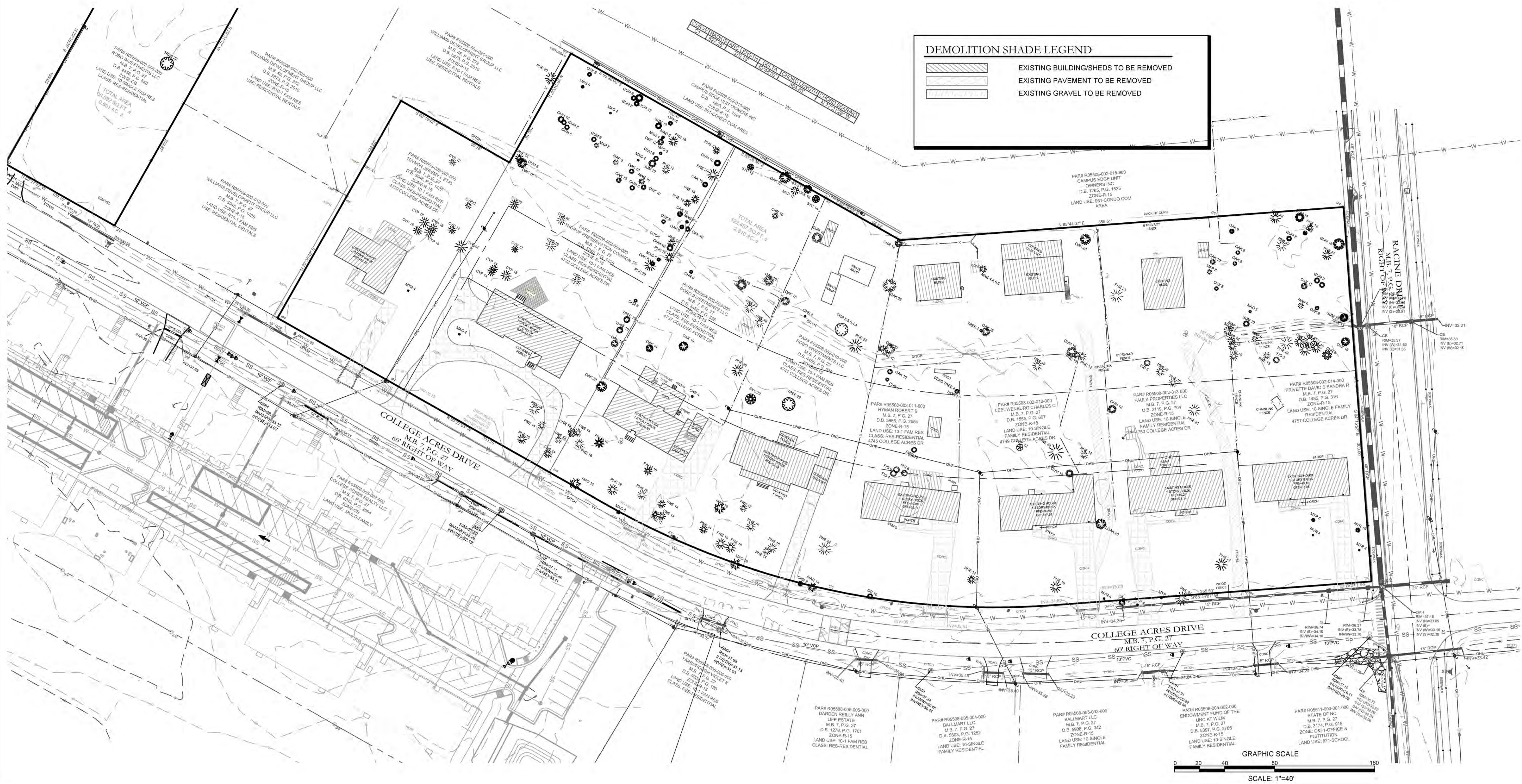
RELEASED FOR CONSTRUCTION



SITE INVENTORY DATA			
1. PREPARER OF THE PLAN:	PARAMOUNTE ENGINEERING, INC. 122 CINEMA DRIVE WILMINGTON, NC 28403	6. PROPERTY BOUNDARY:	SEE PLAN
2. APPLICANT NAME:	COLLEGE ACRES DEVELOPMENT, LLC 5217 MARKET STREET WILMINGTON, NC 28405	7. ZONING:	MF-M (CD)
3. SITE ADDRESS:	[MULTIPLE] COLLEGE ACRES DR. WILMINGTON, NC 28403	8. ADJACENT PROPERTY INFORMATION (OWNER AND ZONING):	SEE PLAN
4. PROPERTY OWNER(S):	TEYNOR JEREMY LETAL 5006 CARLETON DR UNIT 36 WILMINGTON, NC 28403 THORUP PRESERVATION COMMON TR 4733 COLLEGE ACRES DR. WILMINGTON, NC 28403 ROBO INVESTMENTS, LLC PO BOX 1489 WRIGHTSVILLE BEACH, NC 28480 HYMAN ROBERT B. PO BOX 7905 WILMINGTON, NC 28406 LEEUWENBURG CHARLES C. 4749 COLLEGE ACRES DR. WILMINGTON, NC 28403 FAULK PROPERTIES, LLC 2605 TATTON DR. RALEIGH, NC 27608 PRIVETTE DAVID S. SANDRA R. 4757 COLLEGE ACRES DR. WILMINGTON, NC 28403	9. VICINITY MAP:	SEE MAP THIS SHEET
		10. TOPOGRAPHY:	SEE PLAN
		11. 100 YEAR FLOOD PLAIN BOUNDARY:	THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3720314700K DATED AUGUST 28, 2018
		12. LOCATION OF EXISTING DITCHES, CREEKS, AND STREAMS:	SEE PLAN
		13. SOILS:	BAYMEADE (Ba), LEON SAND (Le), MURVILLE FINE SAND (Mu), (SEE SOILS MAP THIS SHEET)
		14. CAMA AEC & ASSOCIATED SETBACKS:	N/A
		15. CAMA LAND CLASSIFICATION:	URBAN
		16. CONSERVATION RESOURCES:	N/A
		17. LOCAL, STATE, OR FEDERAL HISTORIC OR ARCHAEOLOGICAL SITE:	N/A
		18. LOCATION OF CEMETERIES, BURIAL SITES, OR BURIAL GROUNDS:	N/A
		19. SQUARE FOOTAGE OF FORESTED AREA, HABITAT, AND DOMINANT SPECIES:	N/A
		20. SECTION 404 WETLANDS AND SECTION 10 WATERS:	N/A
5. DEVELOPER:	COLLEGE ACRES DEVELOPMENT, LLC. 5217 MARKET STREET WILMINGTON, NC 28405	21. PROTECTED SPECIES OR HABITAT:	N/A
		22. THOROUGHFARES, BIKE ROUTES, SIDEWALKS, TRANSIT FACILITIES (EXISTING OR PROPOSED):	SEE PLAN & VICINITY MAP

Approved Construction Plan
Date: 11/5/20
2020035
SWP #: 2020036

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



REVISIONS:

CLIENT INFORMATION
COLLEGE ACRES DEVELOPMENT, LLC
5217 MARKET STREET
WILMINGTON, NC 28405

PARAMOUNTE
ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6700 (F)
NC License #: C-2846

SITE INVENTORY PLAN & SITE DEMOLITION PLAN
COLLEGE ACRES APARTMENTS
COLLEGE ACRES DRIVE
WILMINGTON, NEW HANOVER CO., NC

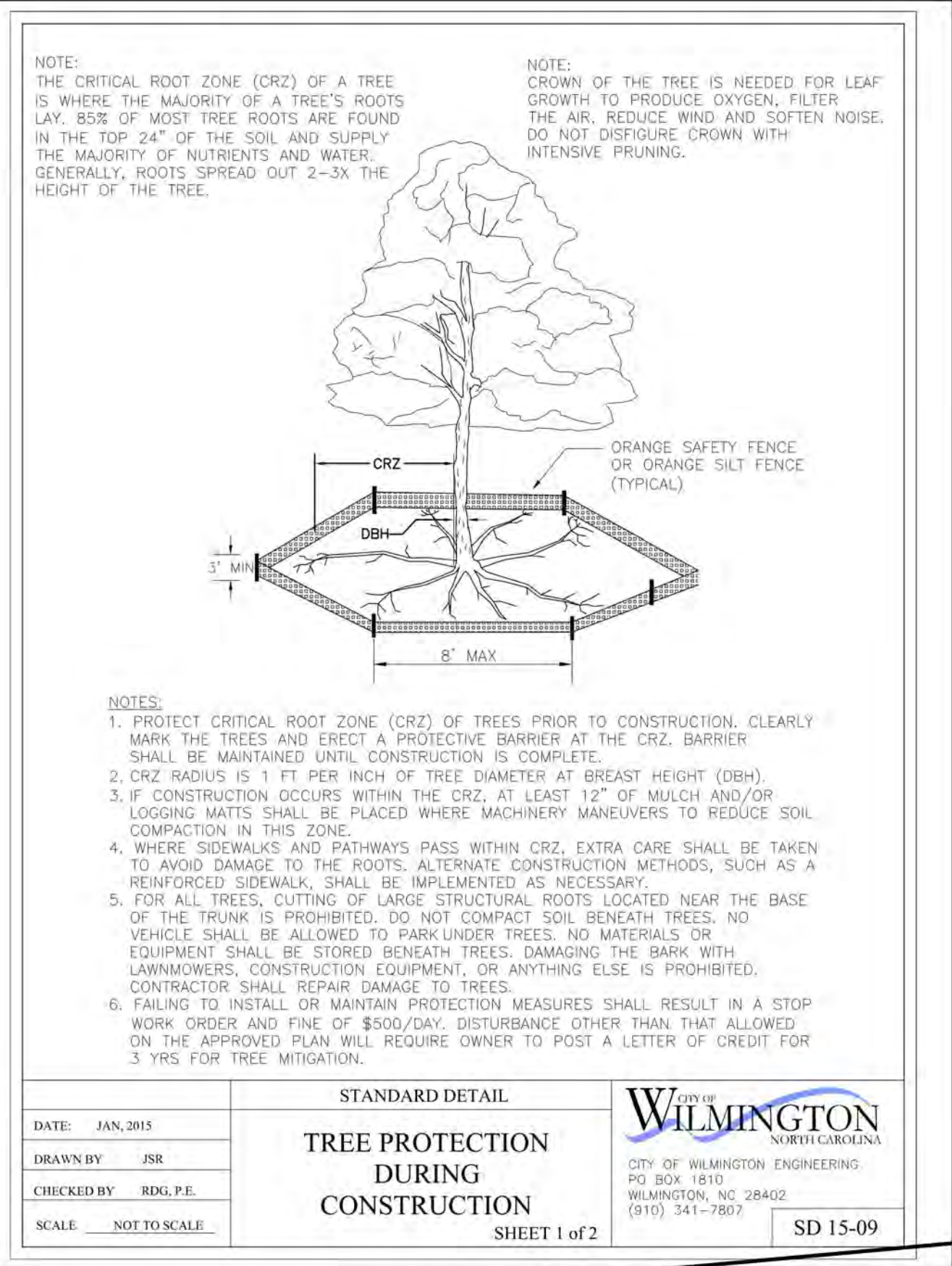
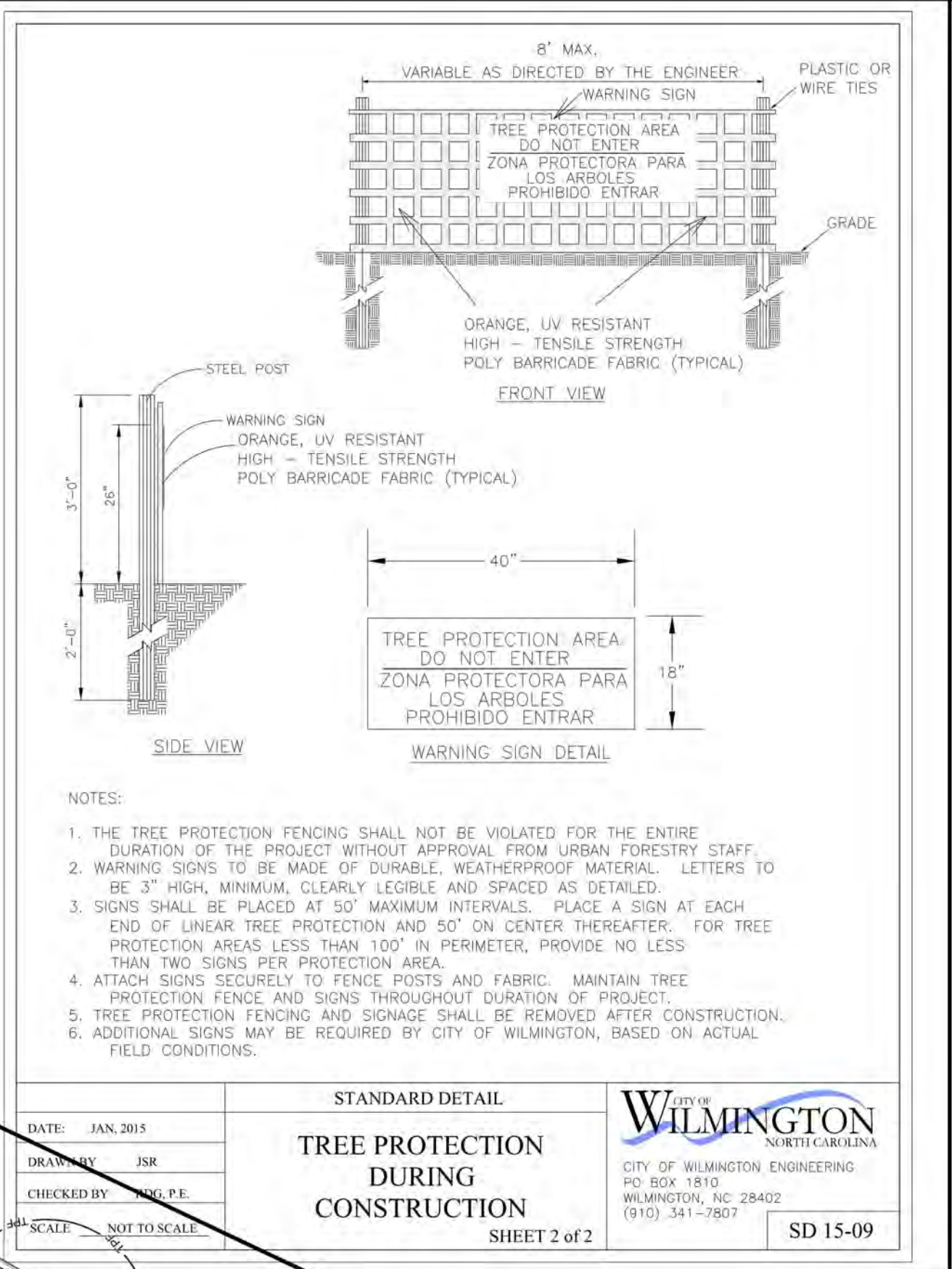
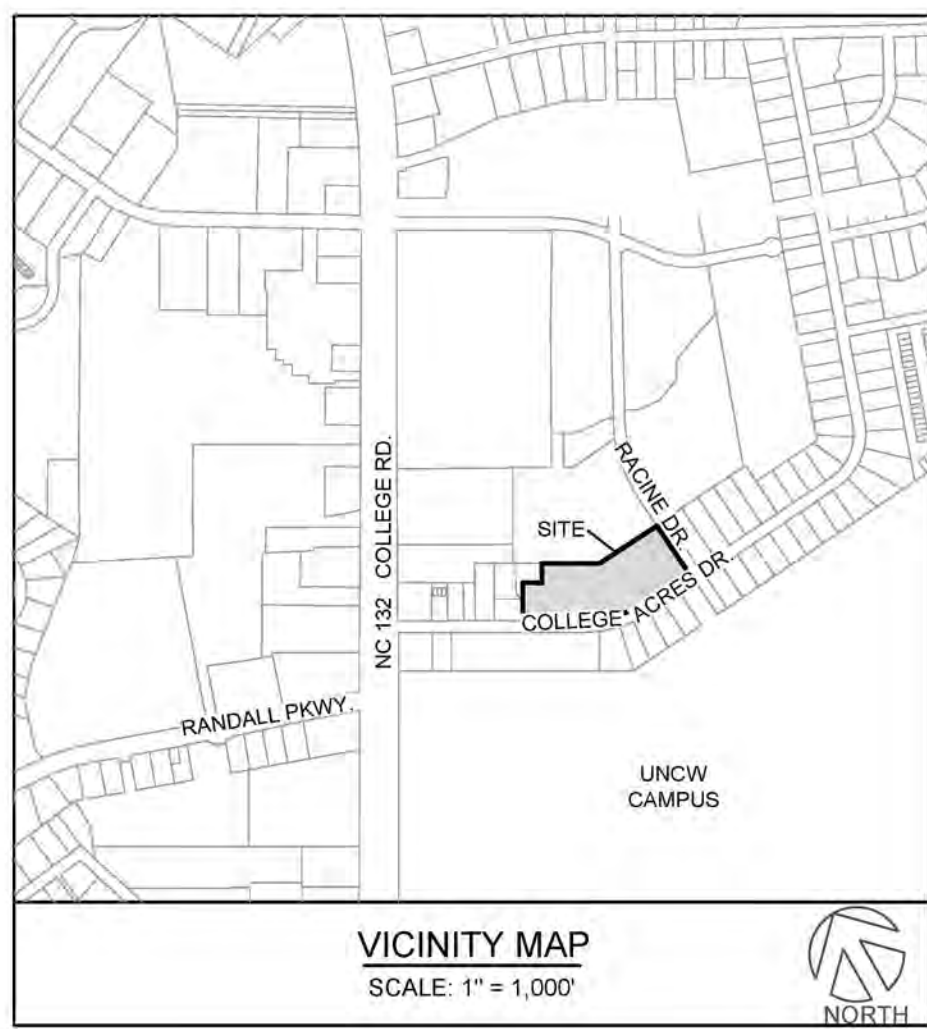
PROJECT STATUS
CONCEPTUAL LAYOUT: 09.28.20
FINAL DESIGN: 10.13.20
RELEASED FOR CONST: 10.13.20

DRAWING INFORMATION
DATE: 07.31.19
SCALE: 1" = 40'
DRAWN: JDM
CHECKED: TOC

Professional Seal redacted on electronic copy per City of Wilmington Policy

C-2.1
PEI JOB#: 19443 PE

RELEASED FOR CONSTRUCTION

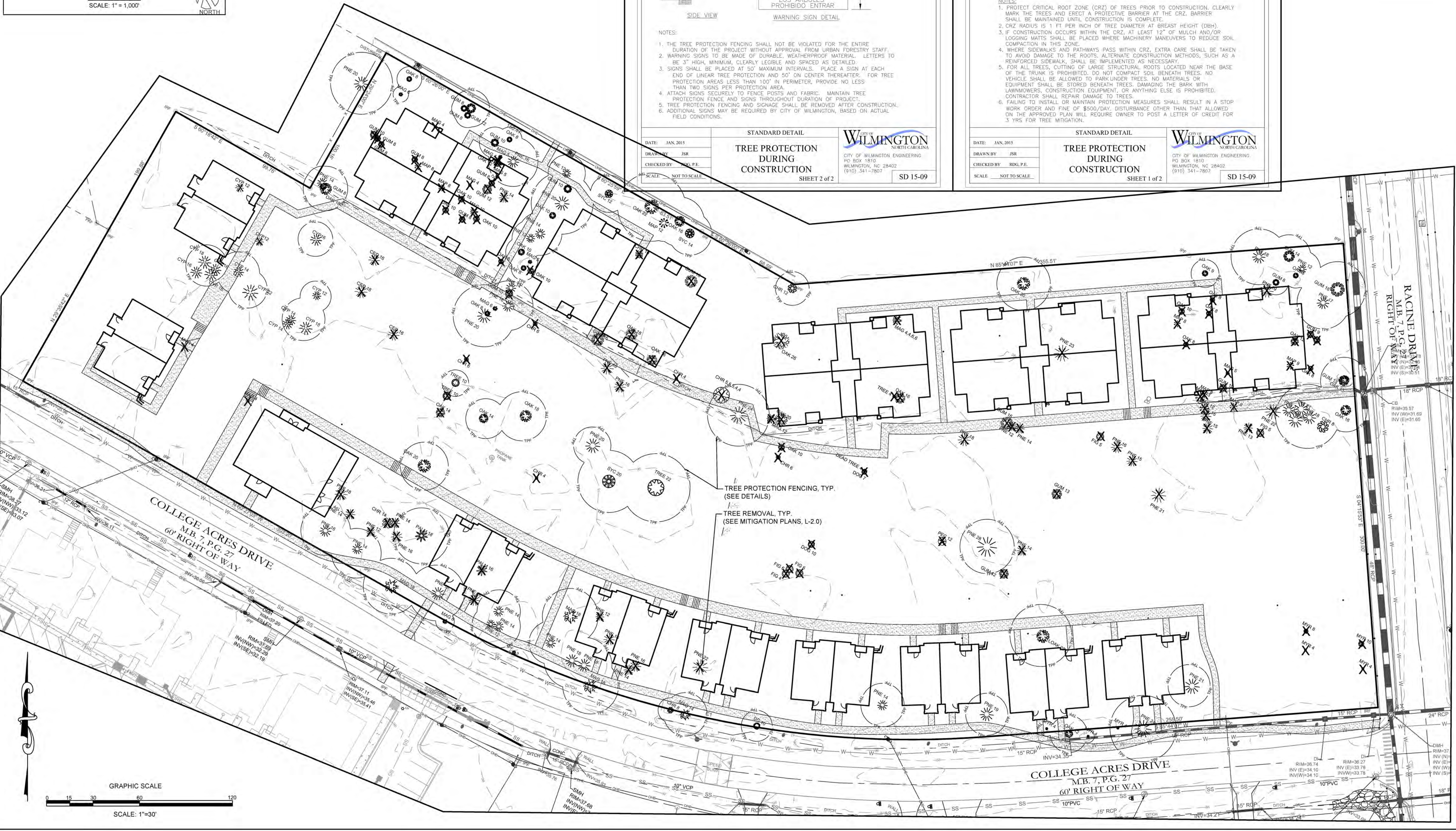


WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Date: 11/5/20
 # 2020035
 SWP #: 2020036

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REVISIONS:

CLIENT INFORMATION:
 COLLEGE ACRES DEVELOPMENT, LLC
 5217 MARKET STREET
 WILMINGTON, NC 28405

PARAMOUNT ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 NC License #: C-2846

TREE REMOVAL PLAN
 COLLEGE ACRES APARTMENTS
 COLLEGE ACRES DRIVE
 WILMINGTON, NEW HANOVER CO., NC.

RELEASED FOR CONSTRUCTION

PROJECT STATUS:
 CONCEPTUAL LAYOUT: 09.28.20
 FINAL DESIGN: 10.12.20
 RELEASED FOR CONST: 10.12.20

DRAWING INFORMATION:
 DATE: 07.21.19
 SCALE: 1"=30'
 DRAWN BY: JON
 CHECKED BY: JTC

Professional Seal redacted on electronic copy per City of Wilmington Policy

C-2.2
 PEI JOB#: 19443 PE

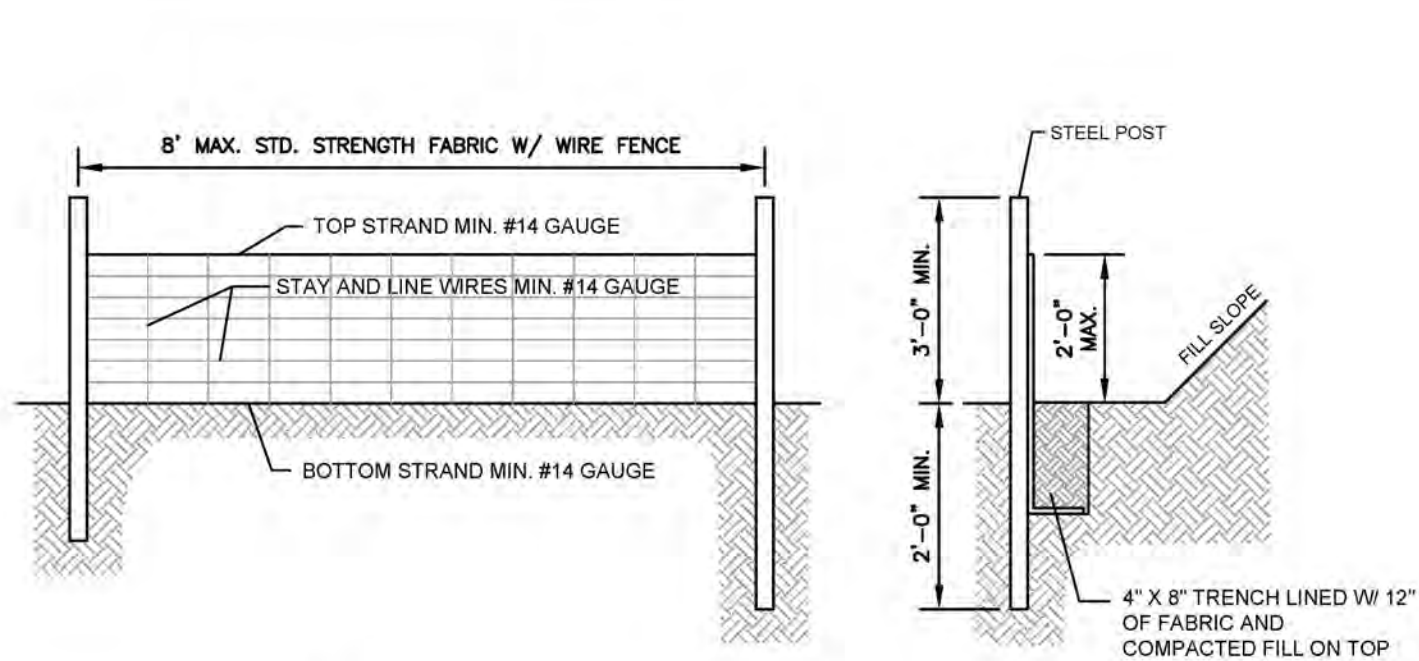
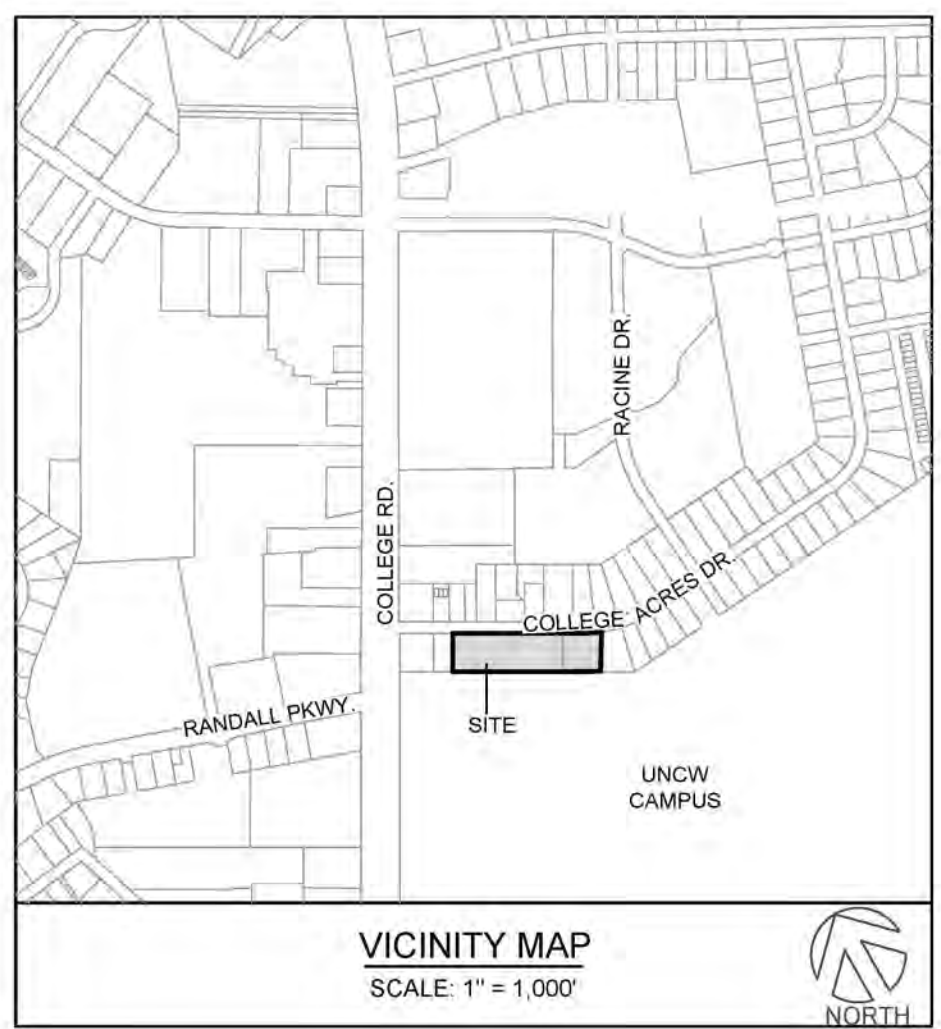
For each open utility cut of city streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Know what's below.
Call before you dig.

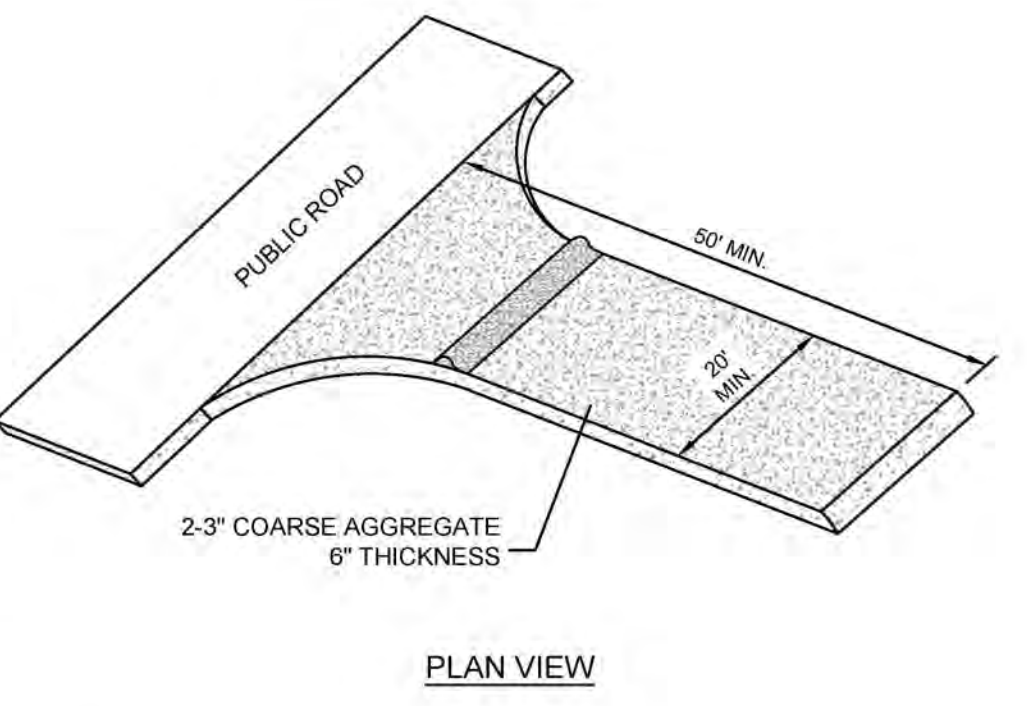
EROSION CONTROL LEGEND:

---	LOD	---	LOD	---	LIMITS OF DISTURBANCE
---	SF	---	SF	---	SILT FENCE
---	TPF	---	TPF	---	TREE PROTECTION FENCING
---	X	---	X	---	SEDIMENT BASIN BAFFLES
---	-20	---	-20	---	PROPOSED CONTOURS
---	-20	---	-20	---	EXISTING CONTOURS
---	---	---	---	---	TREE REMOVAL
---	---	---	---	---	WATTLE / CHECK DAM
---	---	---	---	---	INLET PROTECTION
---	---	---	---	---	GRAVEL ENTRANCE

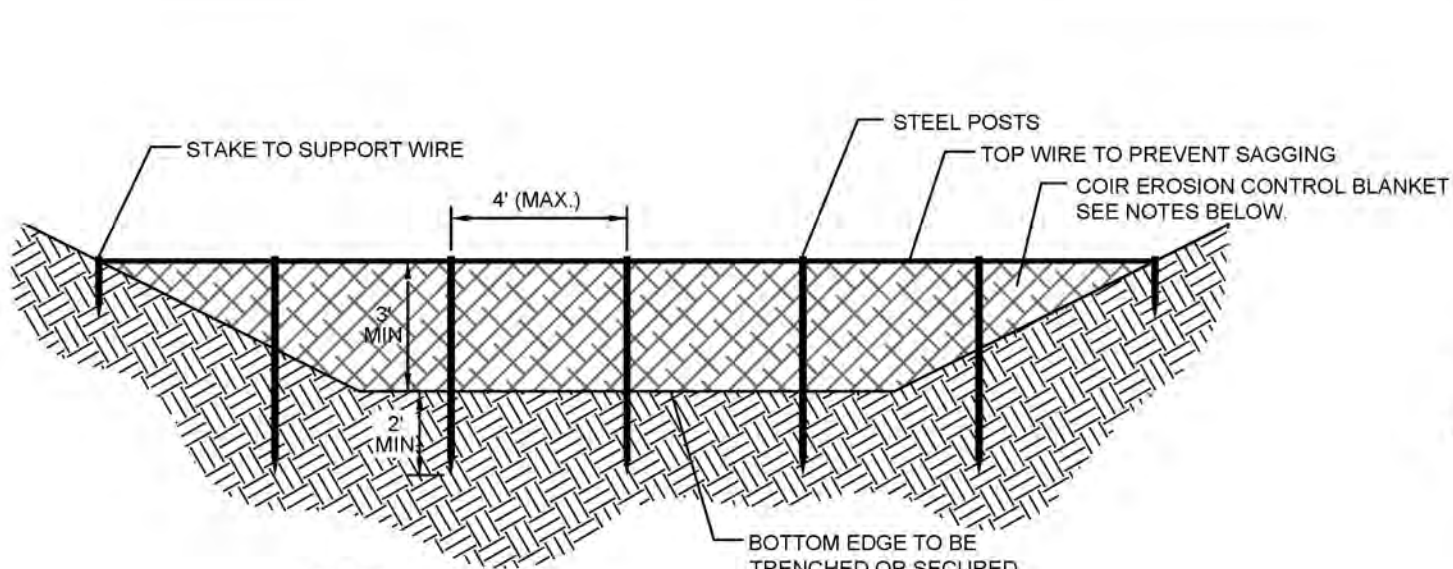


NOTES:
1. WIRE FENCE (IF USED) SHALL BE MINIMUM 14 GAUGE WITH A MAXIMUM MESH OPENING OF 6-INCHES.
2. SYNTHETIC FILTER FABRIC OF AT LEAST 95% BY WEIGHT OF POLYPROPYLENE OR POLYESTER, WHICH IS CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE REQUIREMENTS IN ASTM D 6411 AND ALSO SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS ACCORDING TO ASTM D 4355.
3. SEE THE NC EROSION CONTROL MANUAL FOR SPECIFICATIONS INSTALLING SEDIMENT FENCE USING THE SLICING METHOD MACHINERY.

TEMPORARY SILT FENCE
NOT TO SCALE



TEMPORARY CONSTRUCTION ENTRANCE
NOT TO SCALE



NOTES:
1. INSTALL ONE CONTINUOUS PIECE OF FABRIC ACROSS THE ENTIRE BASIN--DO NOT SPLICE.
2. COIR FIBER MATERIAL SHALL BE 0.30" THICK, TENSILE STRENGTH OF 900x680 lb/ft min. ELONGATION OF 69%±34%, ALLOW 10-12 lbs. 700g/m² WEIGHT MIN., WIDTH OF 6.5 FT., AND AT LEAST 50% OPEN AREA.

COIR FIBER BAFFLE DETAIL
NOT TO SCALE

EROSION CONTROL NOTES:

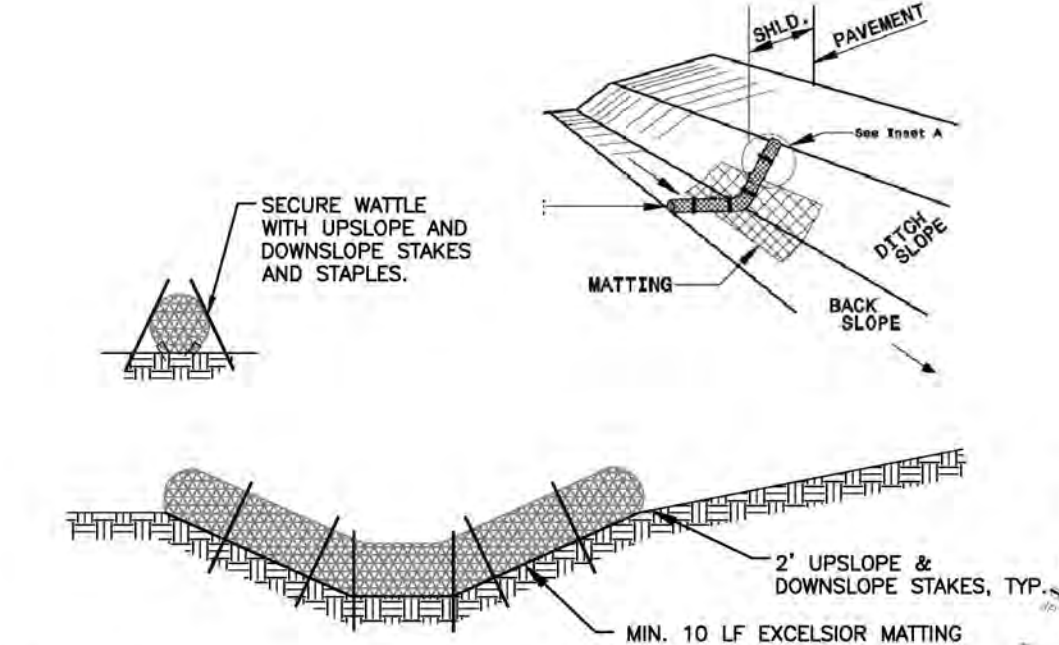
- 1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE STOCKPILE LOCATIONS ON SITE IF NOT SPECIFIED. SEE GENERAL NOTES SHEET FOR GRADING, DRAINAGE, AND EROSION CONTROL NOTES AND REQUIREMENTS. IN ADDITION, REFERENCE TECHNICAL SPECIFICATIONS AND DETAIL SHEETS FOR MORE INFORMATION.
- 2.) SEE GRADING AND DRAINAGE PLANS FOR FINISH GRADES AND STORM PIPE SCHEDULE.
- 3.) A GEOTECHNICAL ENGINEER OR INSPECTORS SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTION PER EARTHWORK SPECIFICATIONS IN FILL AREAS.

ASPHALT AREA NOTE:

- 1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

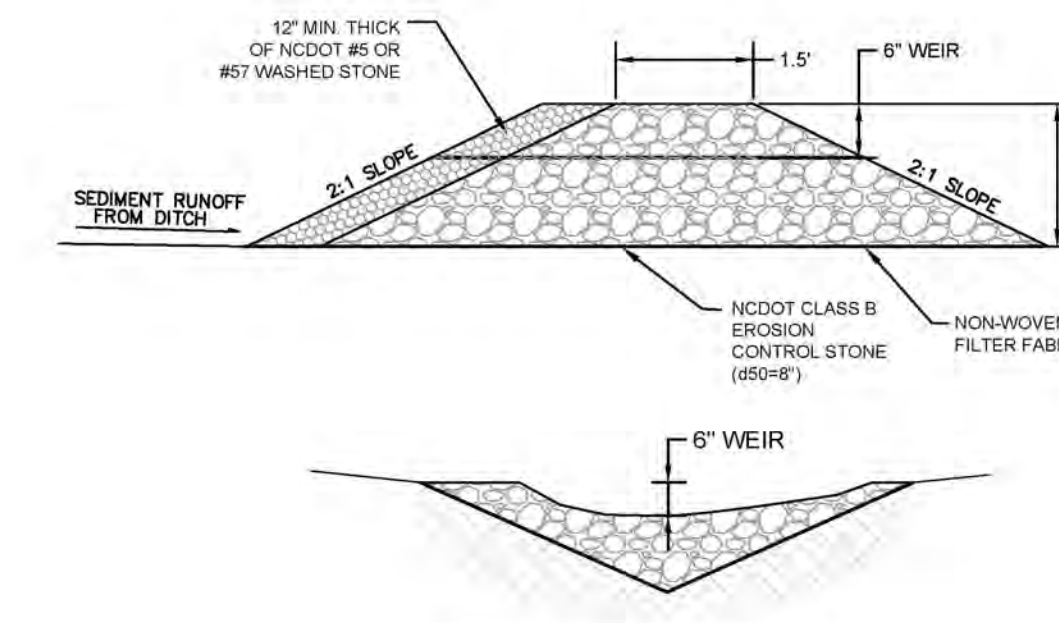
BUILDING PAD NOTE:

- 1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

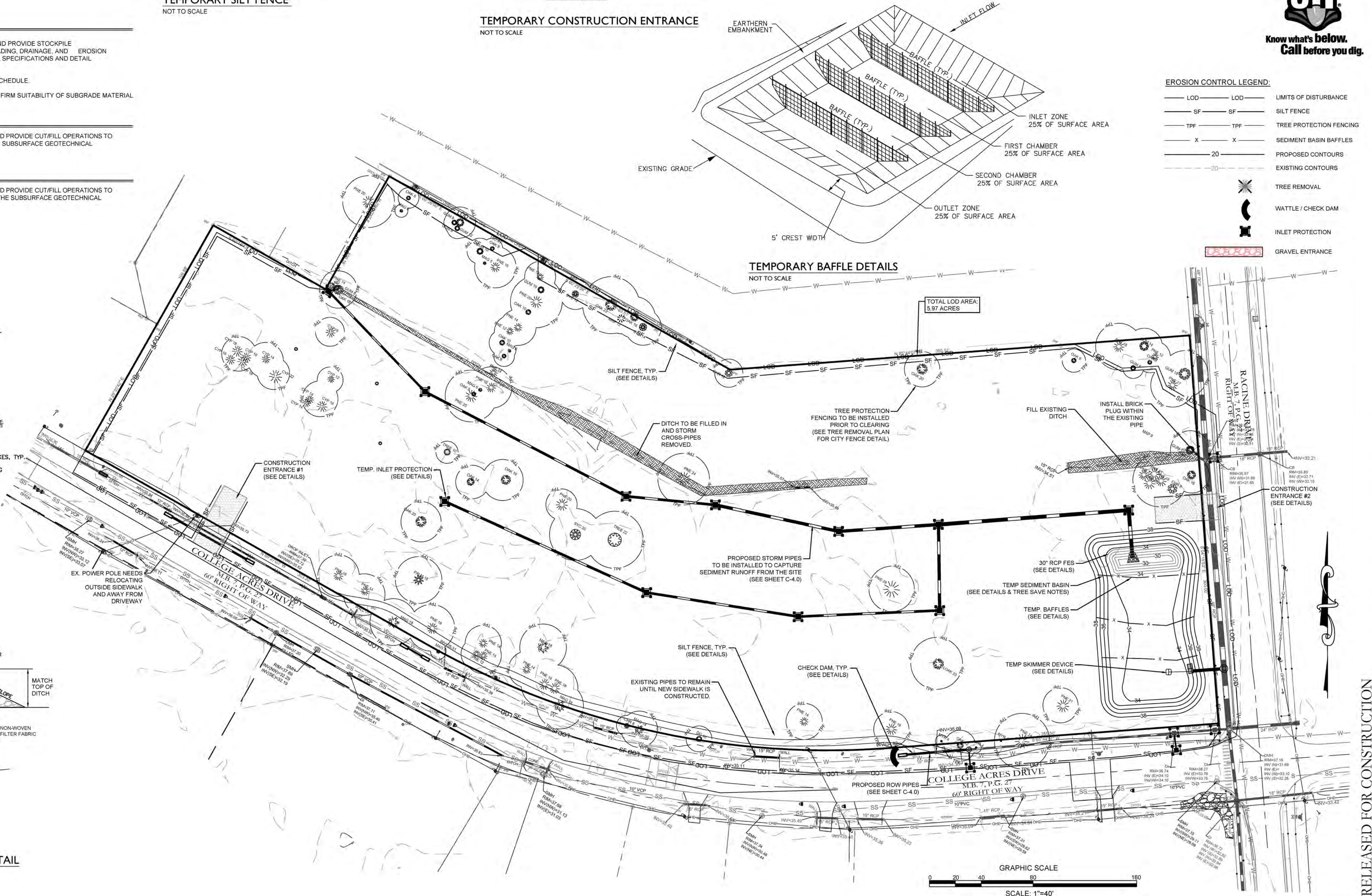


NOTES:
1. USE MINIMUM 12" DIA. EXCELSIOR WATTLE.
2. USE 2"x2" WOODEN STAKES 2-FT IN LENGTH ON THE UPSLOPE AND DOWNSLOPE AT AN ANGLE TO WEDGE THE WATTLE TO THE BOTTOM OF THE SWALE.
3. STAPLE EVERY 1' FT ON BOTH SIDES OF THE WATTLE TO SECURE IT TO THE BOTTOM OF THE SWALE.

TEMPORARY WATTLE DETAIL
NOT TO SCALE



TEMPORARY CHECK DAM DETAIL
NOT TO SCALE



REVISIONS:

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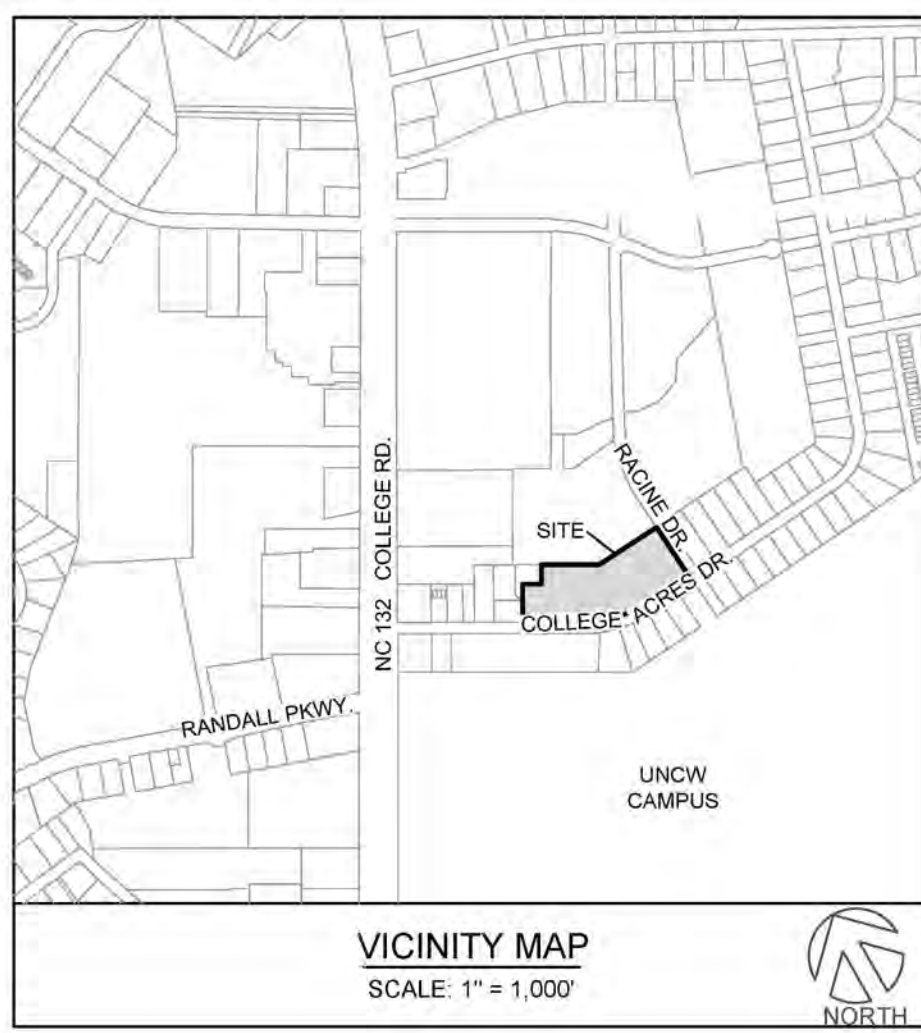
EROSION CONTROL PH I
COLLEGE ACRES APARTMENTS
COLLEGE ACRES DRIVE
WILMINGTON, NEW HANOVER CO., NC.

PROJECT STATUS
CONCEPTUAL LAYOUT: 09/28/20
FINAL DESIGN: 10/13/20
RELEASED FOR CONST: 10/13/20
DRAWING INFORMATION
DATE: 07/24/19
SCALE: 1" = 40'
DRAWN: JBS
CHECKED: JBS

Professional Seal
redacted on electronic
copy per City of
Wilmington Policy

C-3.0
PEI JOB#: 19443 PE

RELEASED FOR CONSTRUCTION



NOTES:

- 1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE STOCKPILE LOCATIONS ON SITE IF NOT SPECIFIED. SEE GENERAL NOTES SHEET FOR GRADING, DRAINAGE, AND EROSION CONTROL NOTES AND REQUIREMENTS. IN ADDITION, REFERENCE TECHNICAL SPECIFICATIONS AND DETAIL SHEETS FOR MORE INFORMATION.
- 2.) SEE GRADING AND DRAINAGE PLANS FOR FINISH GRADES AND STORM PIPE SCHEDULE.
- 3.) A GEOTECHNICAL ENGINEER OR INSPECTORS SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTION PER EARTHWORK SPECIFICATIONS IN FILL AREAS.

ASPHALT AREA NOTE:

- 1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE. IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

BUILDING PAD NOTE:

- 1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

AS-BUILT STORMWATER RULE [15A NCAC 02H.1044]:

- 1.) THE CONTRACTOR WILL EMPLOY A LAND SURVEYOR LICENSED IN THE STATE OF NORTH CAROLINA TO PROVIDE ACCURATE REPRODUCIBLE AS-BUILT DRAWINGS OF THE WET DETENTION BASIN, COLLECTION SYSTEM, AND IMPERVIOUS AREA ON THE SITE TO THE ENGINEER & OWNER UPON COMPLETION OF CONSTRUCTION. UPON CERTIFICATION BY THE ENGINEER AND VERIFICATION FROM THE OWNER ANY DISCREPANCIES WILL BE INDICATED. THEN THESE PLANS SHALL BE RETURNED TO THE CONTRACTOR FOR CORRECTION PRIOR TO FINAL PAYMENT AND FINAL INSPECTION.

STORM SCHEDULE:

Upstream Node	Downstream Node	Upstream Invert	Downstream Invert	Diameter (In)	Pipe Length (ft)	Slope (%)	Upstream Rim Elev
DI 101	FES 100	31.20	30.70	30	32.7	1.530%	36.90
DI 102	DI 101	31.70	31.20	30	147.2	0.340%	36.80
DI 102-1	DI 102	32.07	31.70	24	66.1	0.560%	36.80
DI 102-2	DI 102-1	32.50	32.07	18	109.3	0.390%	36.75
DI 102-3	DI 102-2	33.00	32.50	18	118.6	0.420%	36.60
DI 102-4	DI 102-3	33.50	33.00	18	170.9	0.290%	37.50
DI 103	DI 102	32.50	31.70	24	77.0	1.040%	37.30
CI 104	DI 103	32.95	32.50	24	97.5	0.460%	37.40
DI 105	CI 104	33.25	32.95	18	69.2	0.430%	36.80
DI 106	DI 105	34.15	33.25	18	174.9	0.510%	37.50
YI 107	DI 106	34.65	34.15	15	107.6	0.460%	36.90

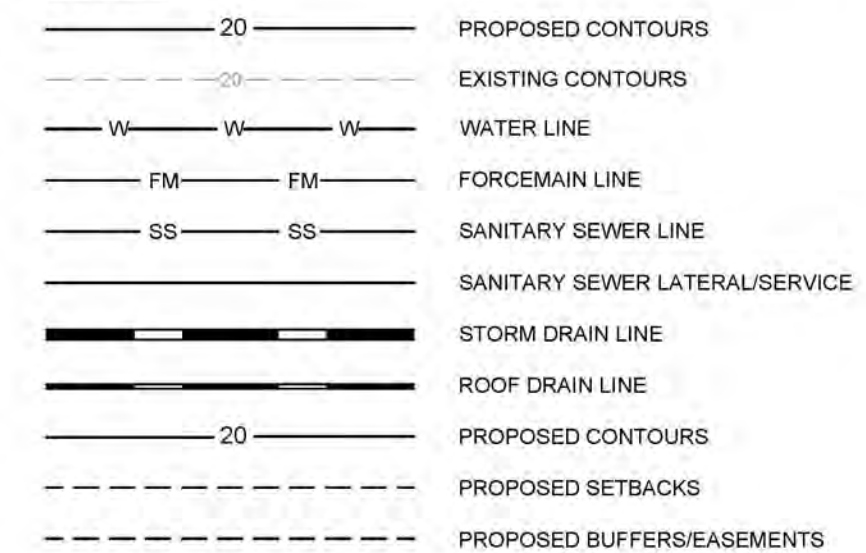
ROOF DRAINAGE & COLLECTION NOTES:

- 1.) SITE CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR IN PIPING OF DOWNSPOUTS TO CONNECT TO STORM DRAINAGE PIPING OR STORMWATER WETLAND DIRECTLY. UNDERGROUND CONNECTIONS CAN BE MADE WITH BOOTED PLASTIC CONNECTIONS TO HP PIPE OR OTHERWISE PIPED TO STRUCTURES.

DRAINAGE NOTES:

- 1.) DRAINAGE EASEMENT AND STORMWATER SYSTEM MAINTENANCE IS THE RESPONSIBILITY OF THE DEVELOPER OR HOA, INCLUDING PONDS, PIPES, AND INFILTRATION BASINS AND TRENCHES AS PERMITTED WITH THE STATE AND LOCAL MUNICIPALITY.
- 2.) ALL IMPERVIOUS MUST DRAIN TO THE DESIGNED STORMWATER SYSTEM UNLESS THE APPROVED PLANS SHOW OTHERWISE.
- 3.) NO OBSTRUCTIONS ARE ALLOWED IN DRAINAGE EASEMENTS, INCLUDING FENCES.
- 4.) ALL PUBLIC STORM DRAINAGE STRUCTURES SHALL MEET NCDOT STANDARDS AND SPECIFICATIONS AND SHALL BE TRAFFIC RATED FOR H-20 LOADS AT A MINIMUM. PRIVATE DRAINAGE SYSTEMS SHALL BE PER APPROVED PLANS AND SPECIFICATIONS.
- 5.) ALL CATCH BASIN (CB) RIM ELEVATIONS ARE LISTED AS THE "GUTTER OF FLOWLINE ELEVATION" WITHIN THE CURB SECTION. THE CONTRACTOR SHALL MAINTAIN A UNIFORM EDGE OF PAVEMENT (EOP) WHEN PLACING THE STORM INLETS WITHIN THE CURB LINE (SEE "CURB TRANSITION" DETAIL). FOR CATCH BASINS WITHIN A TRANSITION FROM 24" STANDARD CURB & GUTTER, THE RIM ELEVATION GIVEN IS 1 INCH BELOW EOP. FOR MODIFIED VALLEY, THE RIM ELEVATION GIVEN IS 1/2 INCH BELOW EOP.
- 6.) MANHOLE RIM ELEVATION SHOWN ABOVE IS FLUSH WITH PROPOSED GRADE. CONTRACTOR SHALL PROVIDE 6" CLEARANCE ABOVE PROPOSED GRADE WHEN PLACED IN A GRASS/PERVIOUS AREA, AND A FLUSH CONDITION WITH PROPOSED PAVEMENT OR IMPERVIOUS COVER.
- 7.) PROPOSED BUILDINGS SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM. SEE CIVIL OR ARCHITECTURAL DETAILS FOR DOWNSPOUT DETAILS AND CONNECTIONS.
- 8.) CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE TO MATCH PROPOSED GRADES.
- 9.) THE CONTRACTOR SHALL USE STORM PIPE PER THE SPECIFICATIONS (TYPICALLY CONCRETE OR HP PIPE). EITHER WAY THE CONTRACTOR SHALL FOLLOW THE TRENCH DETAILS AND SPECIFICATIONS, AND THE PIPE MANUFACTURER SPECIFICATIONS.

LEGEND:



WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Date: 11/5/20
2020035
SWP #: 2020036

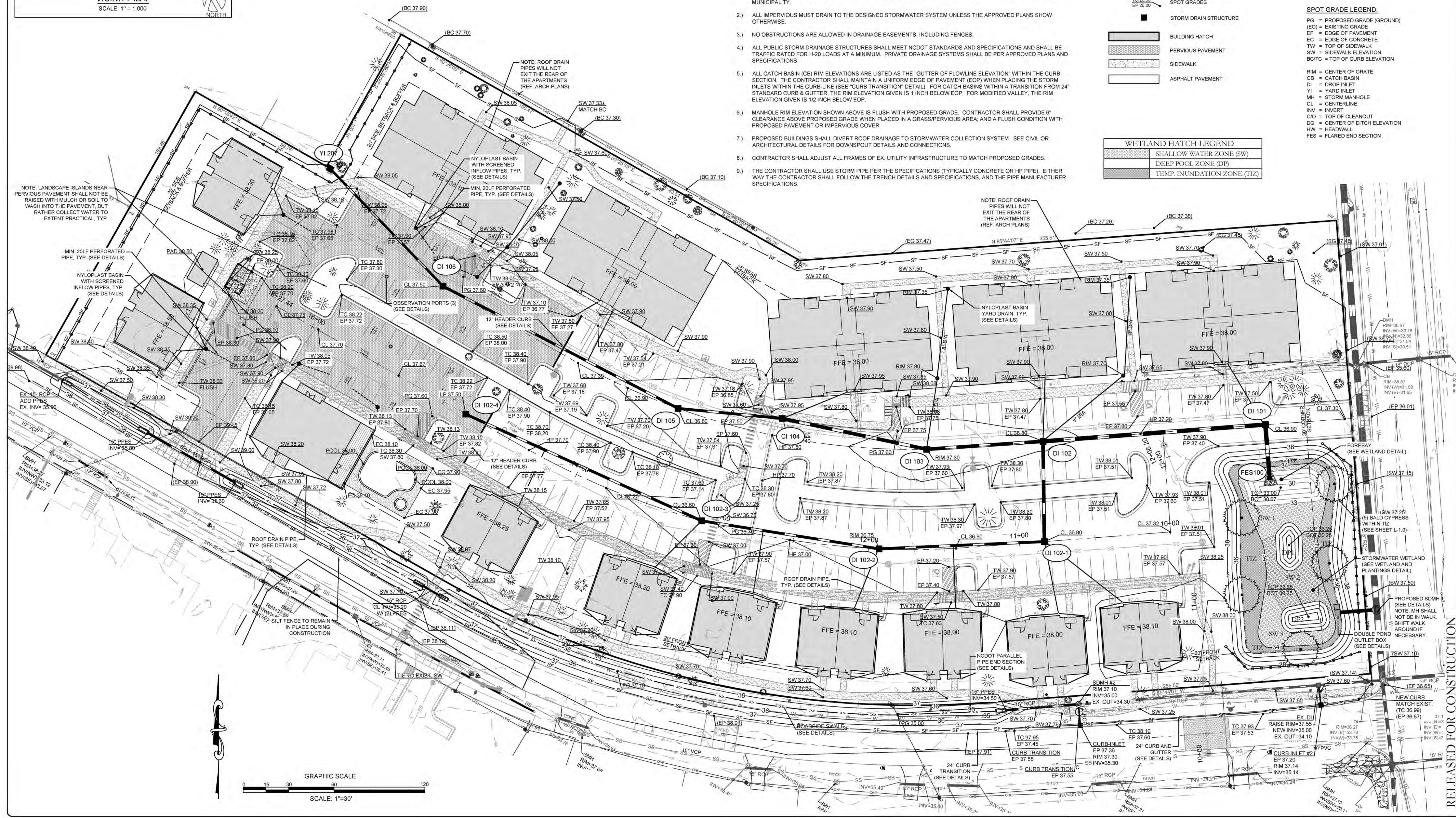
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SPOT GRADE LEGEND:

- PG = PROPOSED GRADE (GROUND)
- EG = EXISTING GRADE
- EP = EDGE OF PAVEMENT
- EC = EDGE OF CONCRETE
- TW = TOP OF SIDEWALK
- SW = SIDEWALK ELEVATION
- BOTC = TOP OF CURB ELEVATION
- RIM = CENTER OF GRATE
- CB = CATCH BASIN
- DI = DROP INLET
- YI = YARD INLET
- MH = STORM MANHOLE
- CL = CENTERLINE
- INV = INVERT
- C/O = TOP OF CLEANOUT
- DS = CENTER OF DITCH ELEVATION
- HW = HEADWALL
- FES = FLARED END SECTION

WETLAND HATCH LEGEND

- SHALLOW WATER ZONE (SW)
- DEEP POOL ZONE (DP)
- TEMP INUNDATION ZONE (TIZ)



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GRADING & DRAINAGE PHASE II EROSION CONTROL
COLLEGE ACRES APARTMENTS
COLLEGE ACRES DRIVE
WILMINGTON, NEW HANOVER CO., NC

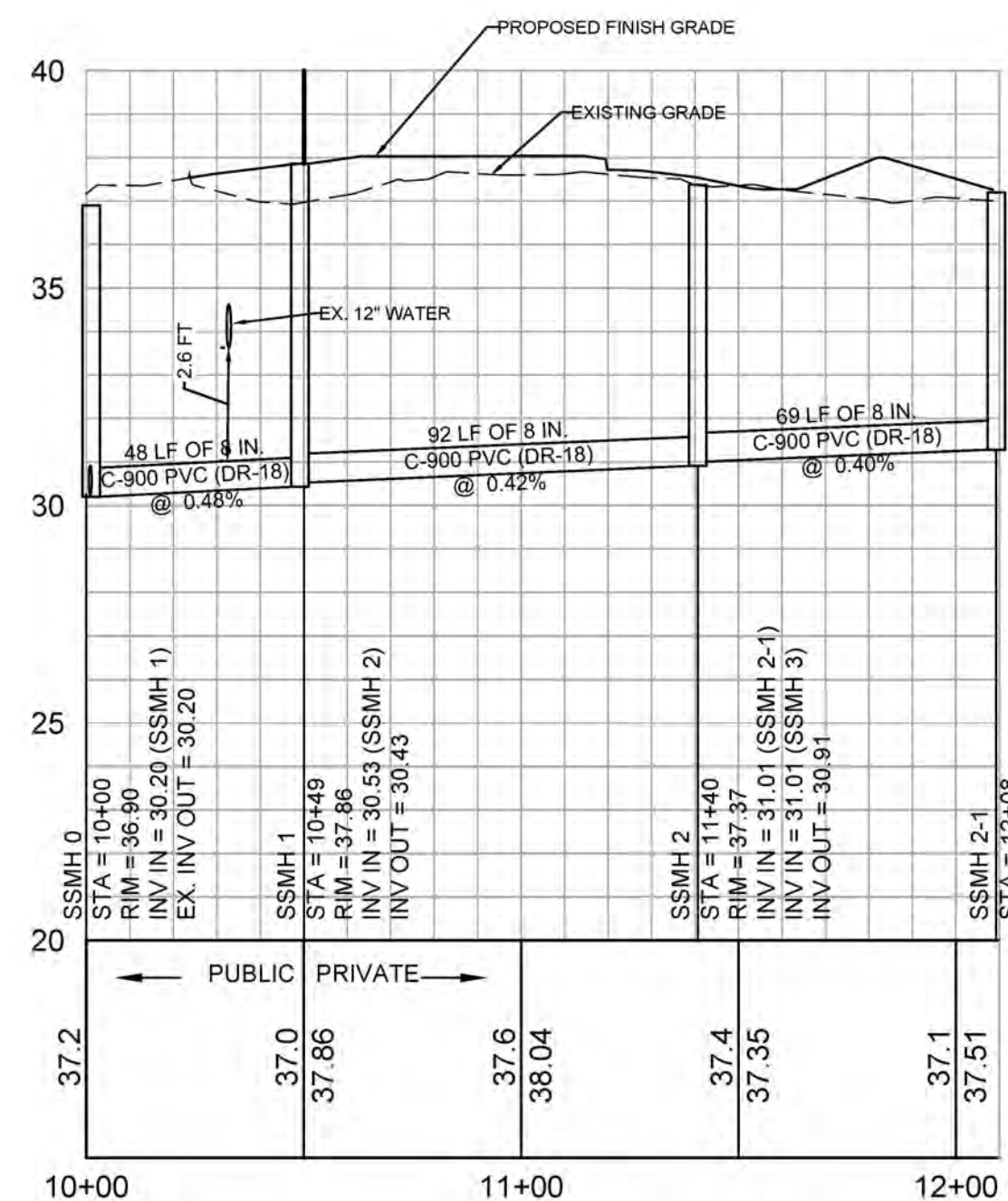
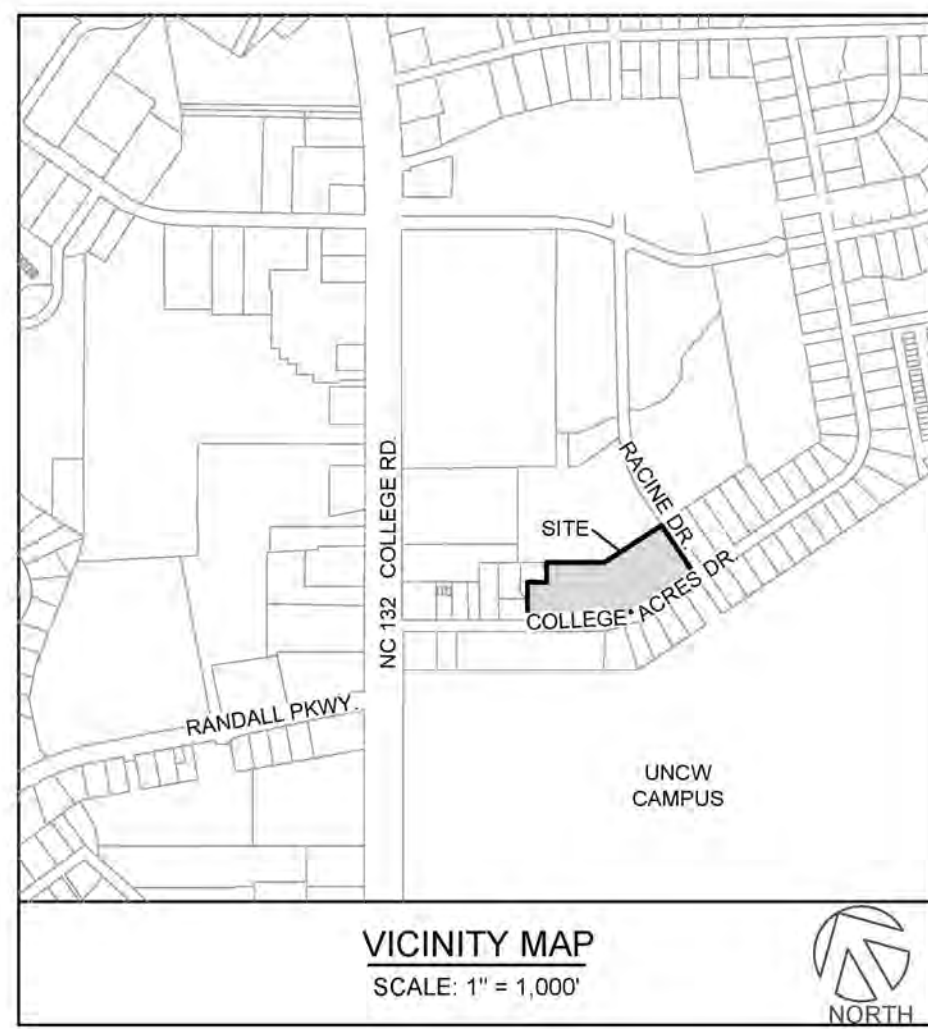
PROJECT STATUS:
ORIGINAL LAYOUT: 9.30.20
FINAL DESIGN: 10.13.20
RELEASED FOR CONST: 10.13.20

DRAWING INFORMATION:
DATE: 07.28.19
SCALE: 1" = 30'
CUT: JAS
DRAWN: JAS
CHECKED: JAS

Professional Seal redacted on electronic copy per City of Wilmington Policy

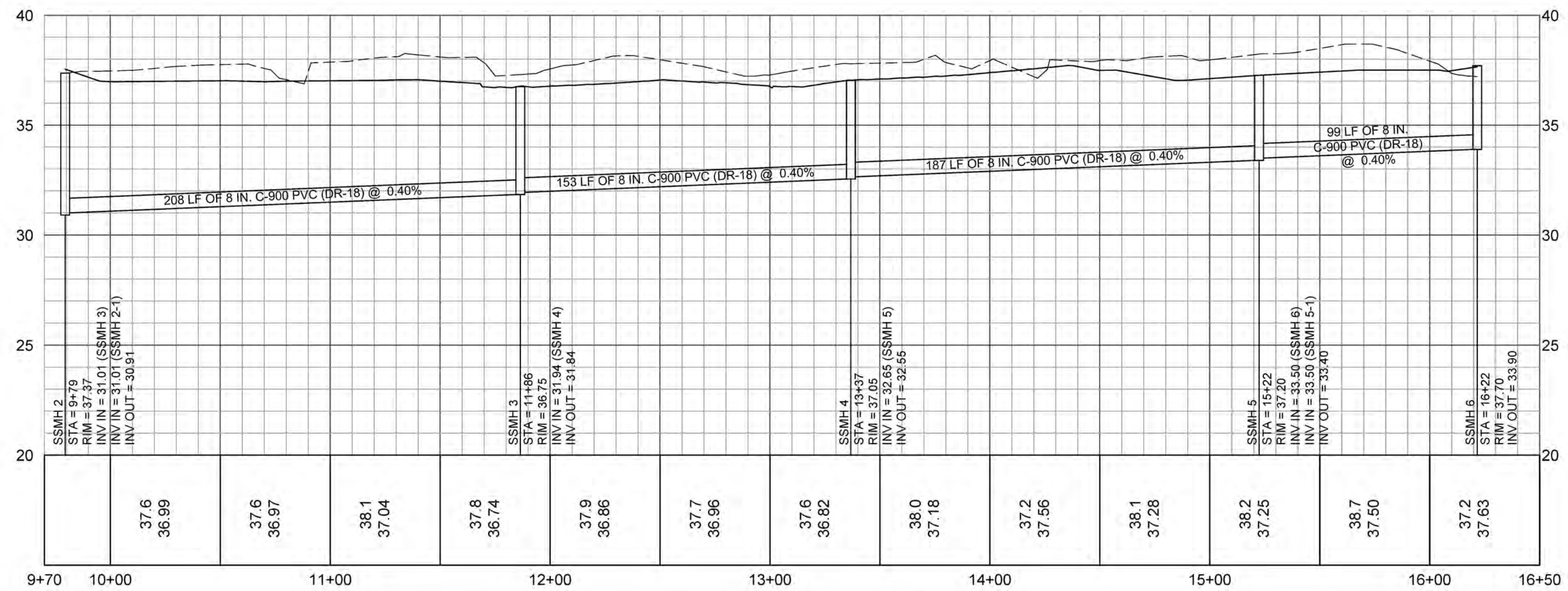
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PEI JOB#: 19443 PE

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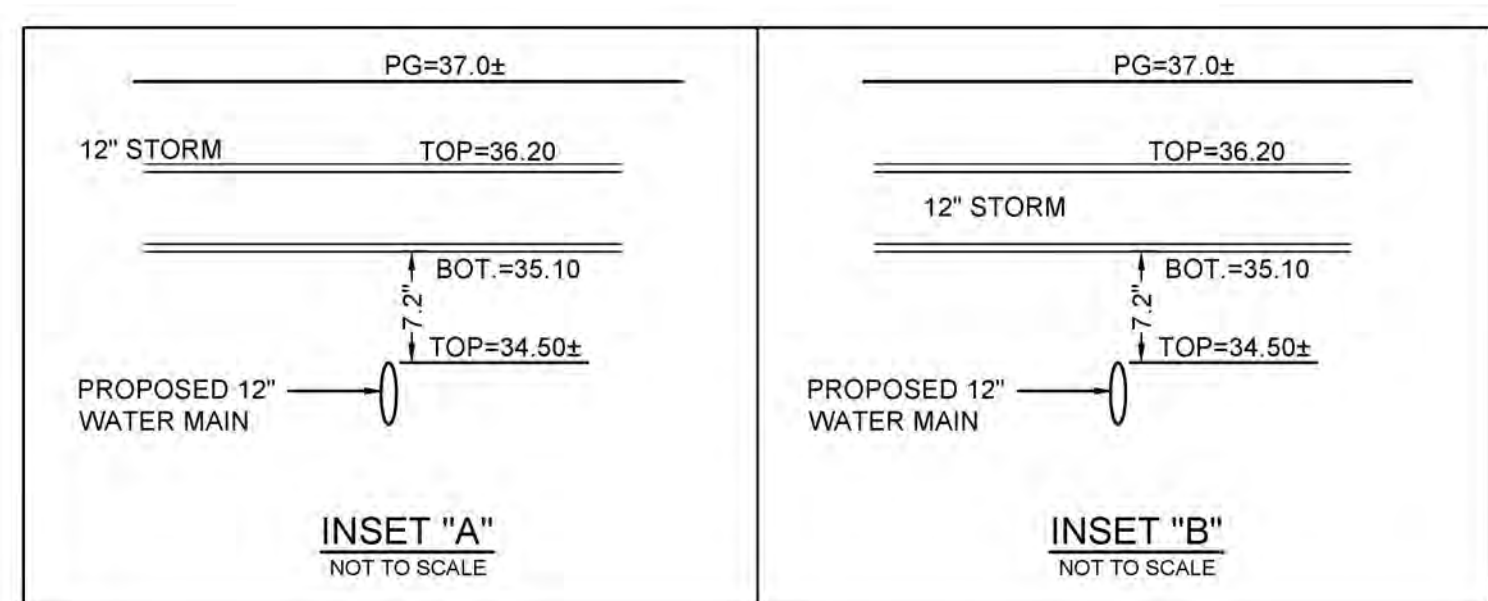


UTILITY KEYNOTES:

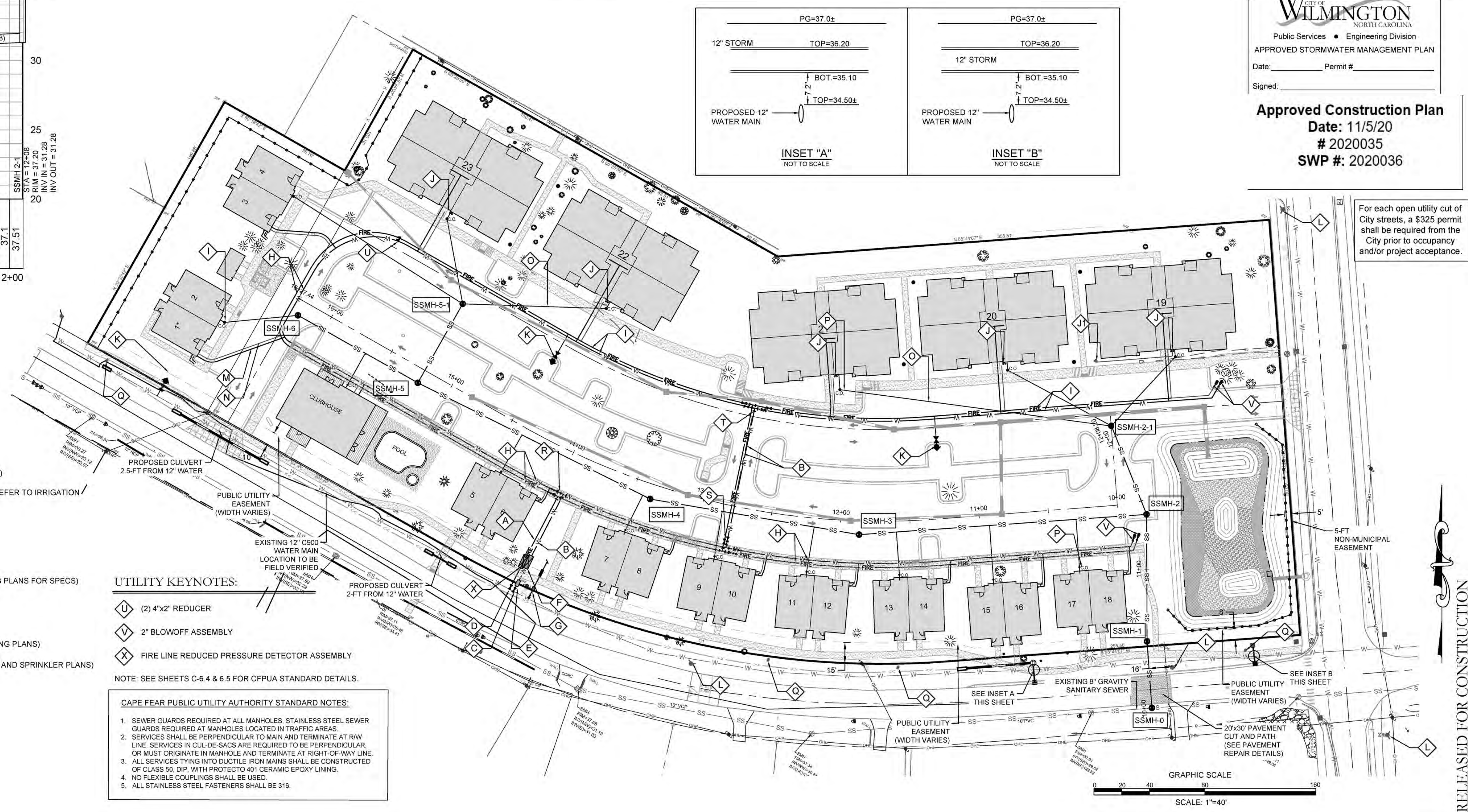
- A 8" C-900 PVC MAIN
- B 6" C-900 PVC MAIN
- C (1) 12"x8" TS&V FIRE MAIN
- D (1) 12"x6" TS&V DOMESTIC MAIN
- E 4" WATER METER VAULT IN FRONT OF SIDEWALK
- F REDUCED PRESSURE PRINCIPAL ASSEMBLY DEVICE (DOMESTIC)
- G 12"x2" TS&V WITH 1" IRRIGATION METER AND 2" SERVICE LINE (REFER TO IRRIGATION PLANS FOR CONTINUATION)
- H 2" PVC WATER & FIRE MAINS
- I 4" C900 WATER & FIRE MAINS
- J WALL-MOUNT FDC (SEE PLUMBING PLANS FOR DETAILS)
- K STAND-PIPE FDC WITH STAINLESS OR PVC PIPE (REF. PLUMBING PLANS FOR SPECS)
- L PROPOSED FIRE HYDRANT
- M EXISTING FIRE HYDRANT
- N WATER SERVICE CONNECTION TO BUILDING (REFER TO PLUMBING PLANS)
- O FIRE SERVICE CONNECTION TO BUILDING (REFER TO PLUMBING AND SPRINKLER PLANS)
- P 6" SANITARY SEWER LATERAL AT 1.50% MINIMUM SLOPE
- Q SANITARY SEWER CLEAN-OUT (TYPICAL)
- R EXIST. METERS TO BE REMOVED AT THE MAIN PER CFPUA
- S (1) 8"x6" MJ TEE WITH 6"x2" REDUCER & 2" GV
(1) 8"x6" MJ TEE WITH 6"x2" REDUCER & 2" GV
- T (2) 6"x6" MJ TEE WITH (2) 6" MJ GV
(2) 6"x2" REDUCER & (2) 2" MJ GV
- U (2) 6"x4" MJ TEES WITH (4) 4" MJ GV



PRIVATE SEWER - PROFILE VIEW
HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'



- UTILITY NOTES: (NCAC 15A.02T.0305 / T15A.18C.0904-906)**
- WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
 - WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
 - CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
 - WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
 - WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN WATER MAIN AND STORM DRAIN WHEN STORM IS ABOVE WATER, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE. OTHERWISE, A 12" MIN. SEPARATION SHALL BE CONSTRUCTED.
 - MATERIALS, INSTALLATION, AND TESTING FOR PRIVATE UTILITIES SHALL BE IN ACCORDANCE WITH CFPUA SPECIFICATIONS.
 - CONTRACTOR SHALL ABANDON ALL UNUSED SEWER AND WATER TAPS.
 - WATER MAINS SHALL BE BURIED A MIN. OF 36-INCHES OR DEPTH BELOW THE FROST-LINE OR GREATER IF THE LOCAL UTILITY PROVIDER REQUIRES.



UTILITY KEYNOTES:

- U (2) 4"x2" REDUCER
- V 2" BLOWOFF ASSEMBLY
- X FIRE LINE REDUCED PRESSURE DETECTOR ASSEMBLY

NOTE: SEE SHEETS C-6.4 & 6.5 FOR CFPUA STANDARD DETAILS.

CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:

- SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
- SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT R/W LINE. SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR OR MUST ORIGINATE IN MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
- ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50, DIP. WITH PROTECTO 401 CERAMIC EPOXY LINING.
- NO FLEXIBLE COUPLINGS SHALL BE USED.
- ALL STAINLESS STEEL FASTENERS SHALL BE 316.

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 11/5/20 Permit #
Signed: _____
Approved Construction Plan
Date: 11/5/20
2020035
SWP #: 2020036

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UTILITY PLAN
COLLEGE ACRES APARTMENTS
COLLEGE ACRES DRIVE
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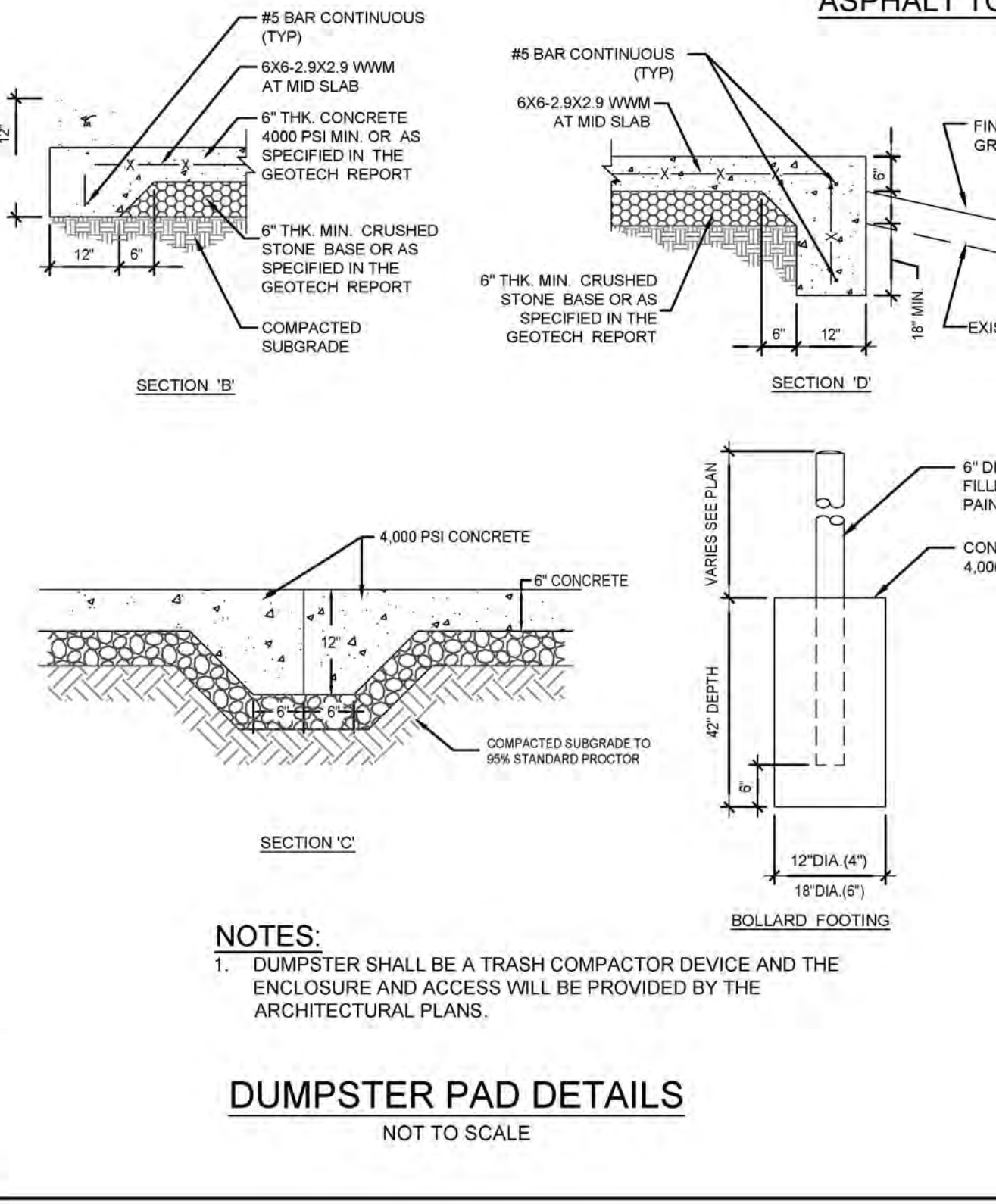
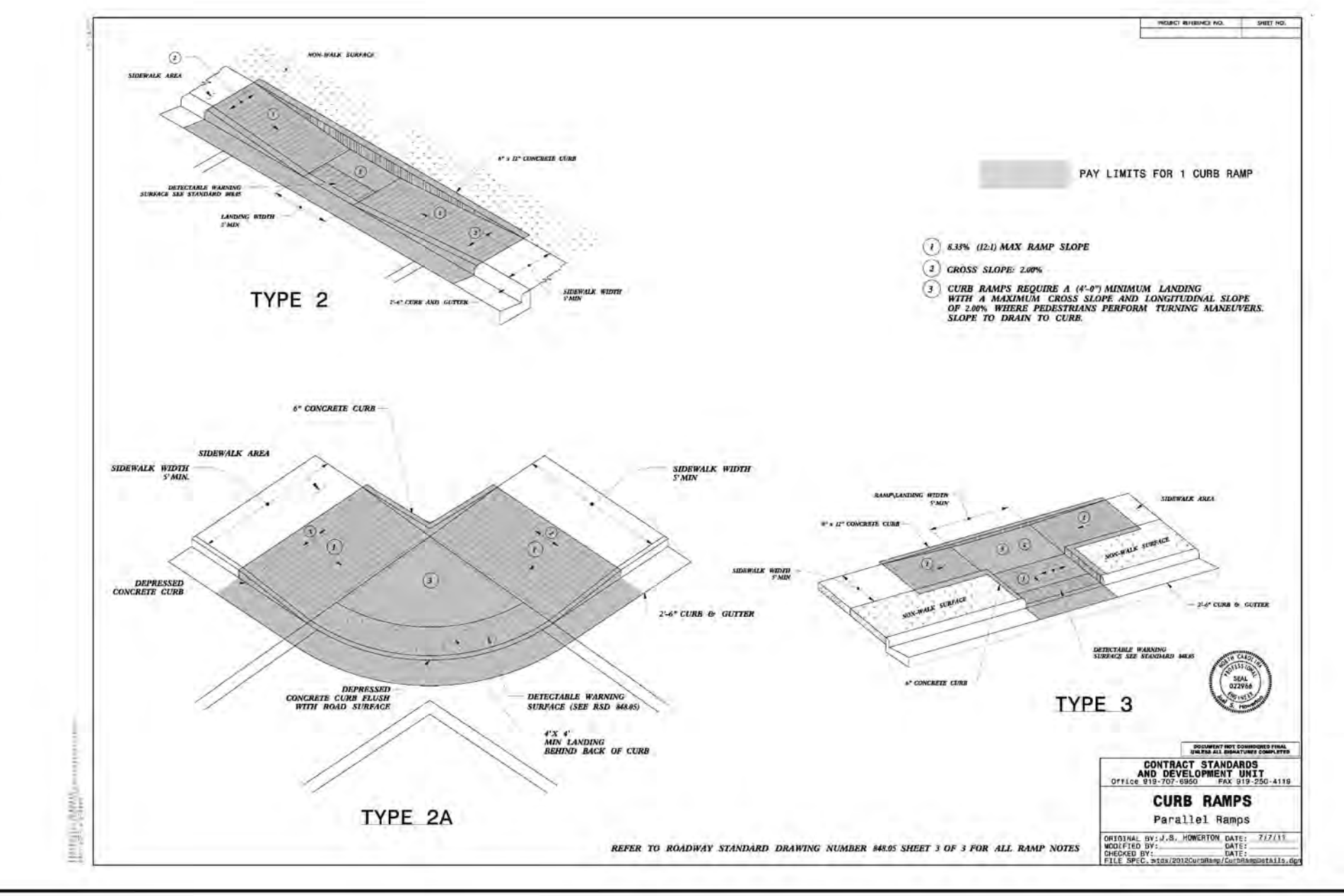
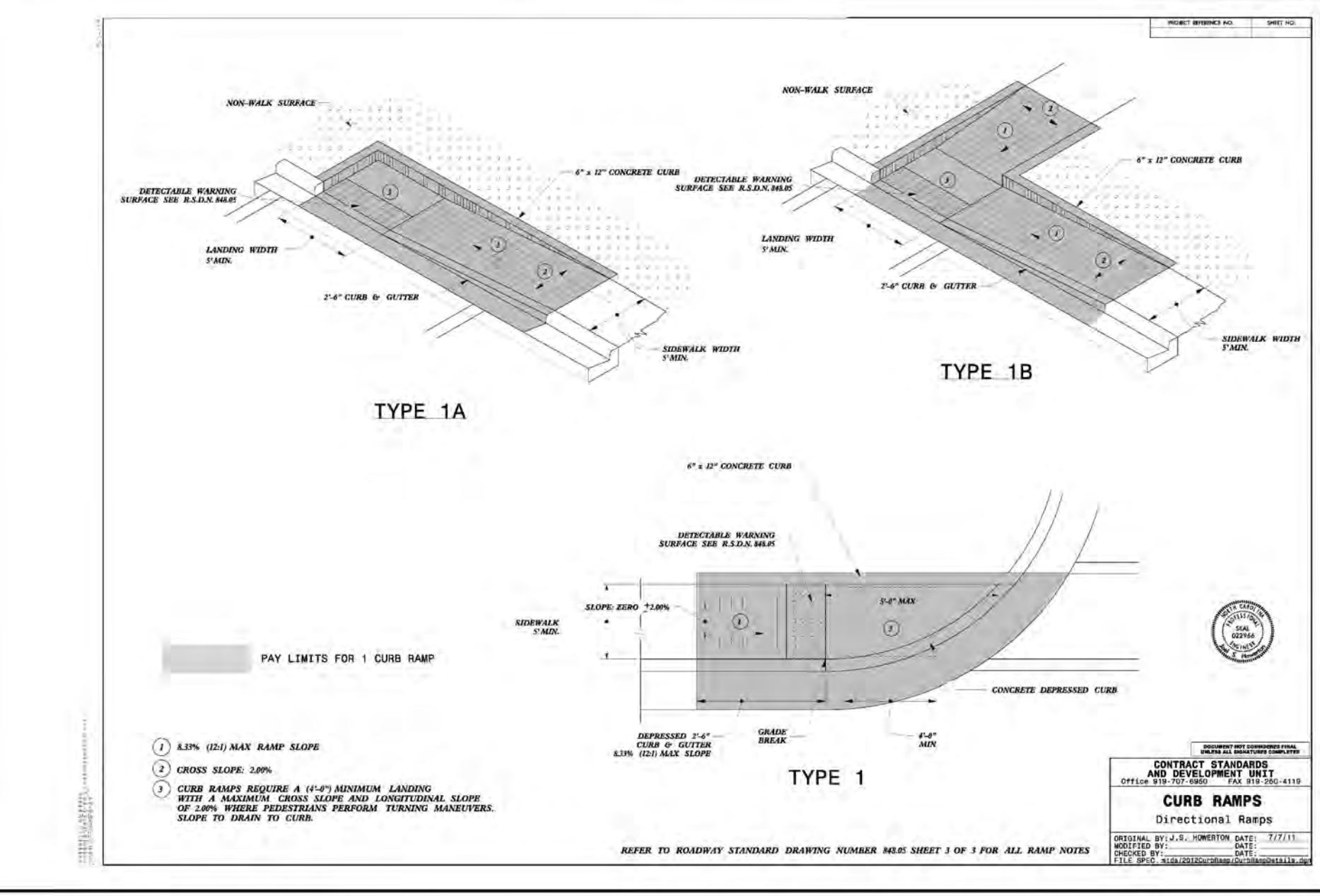
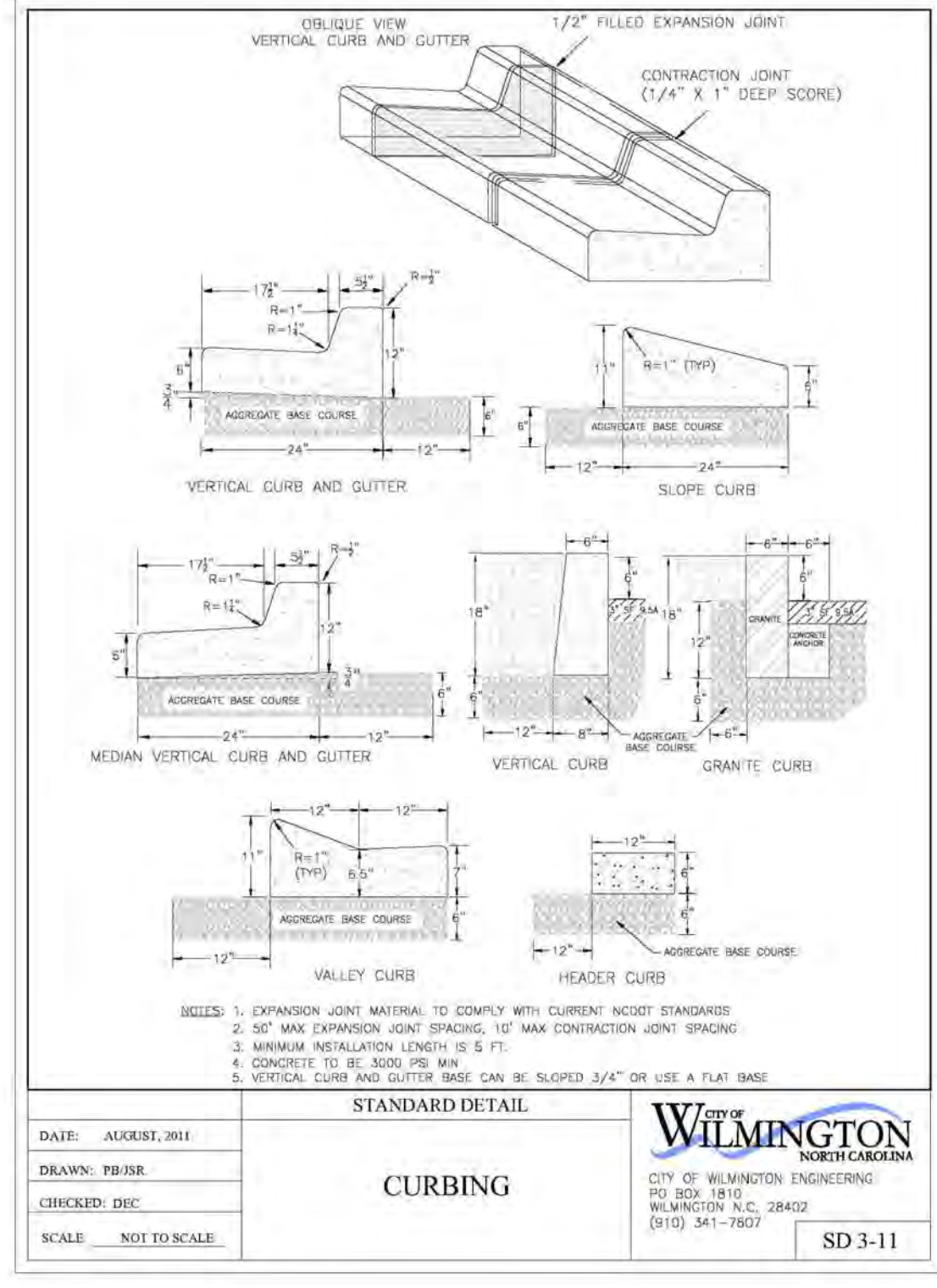
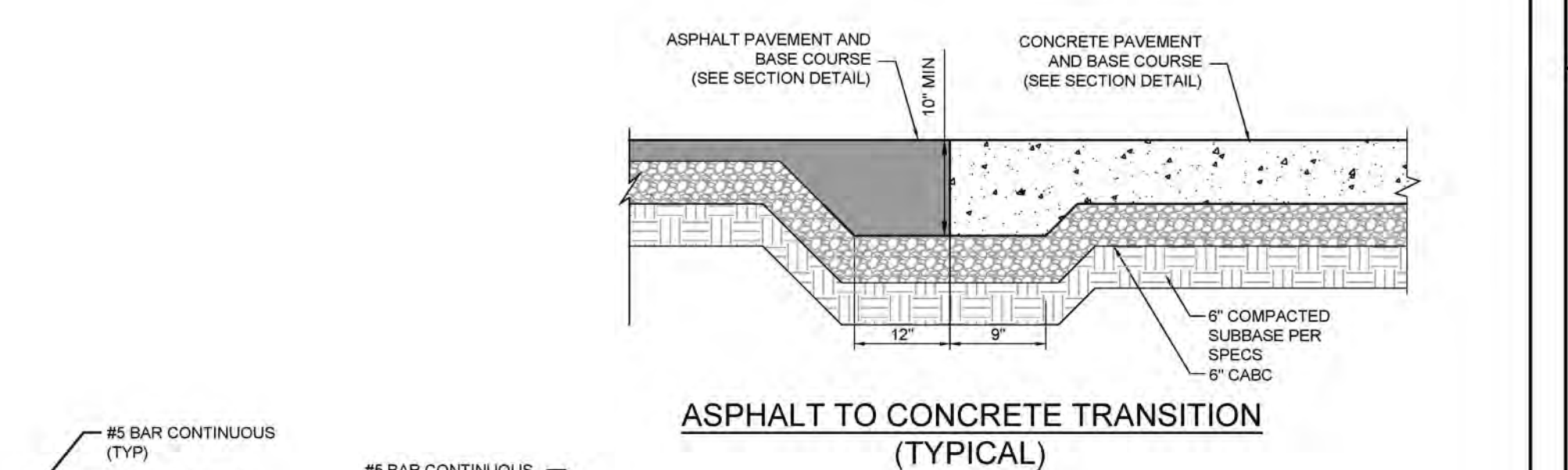
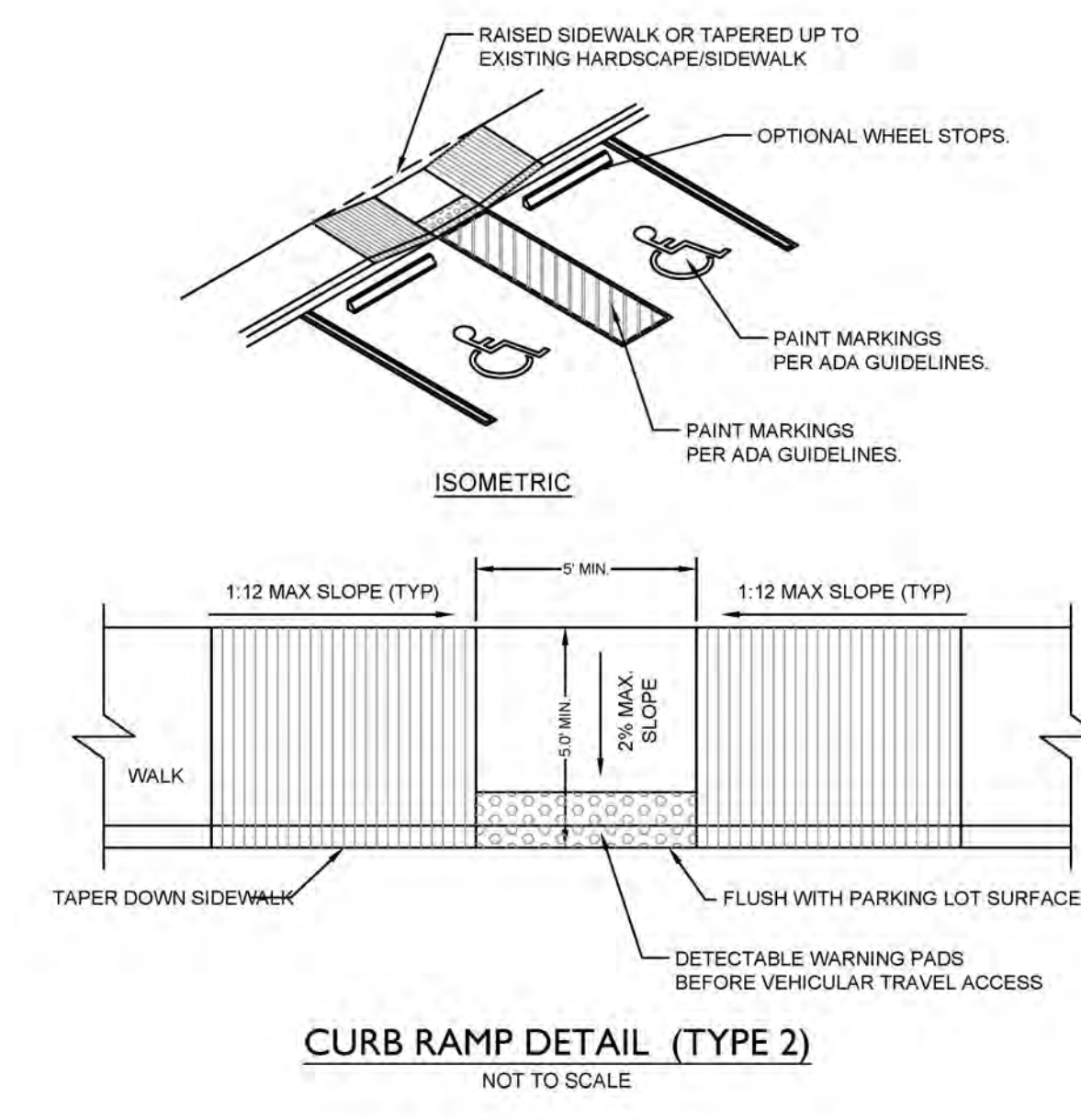
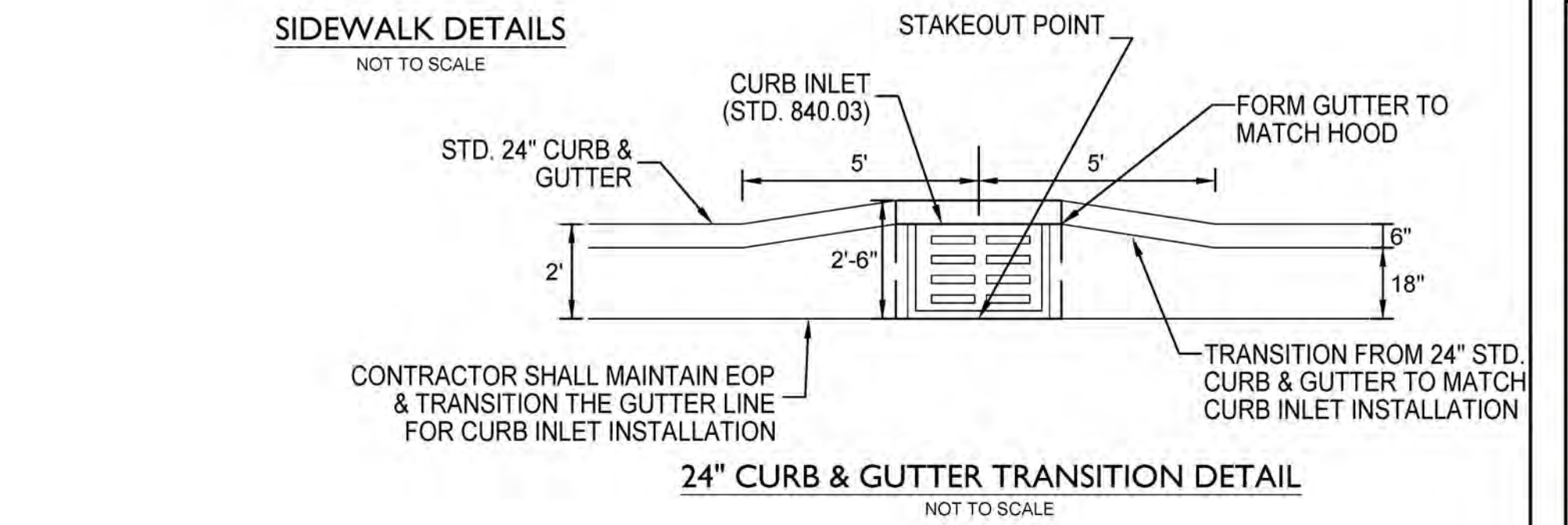
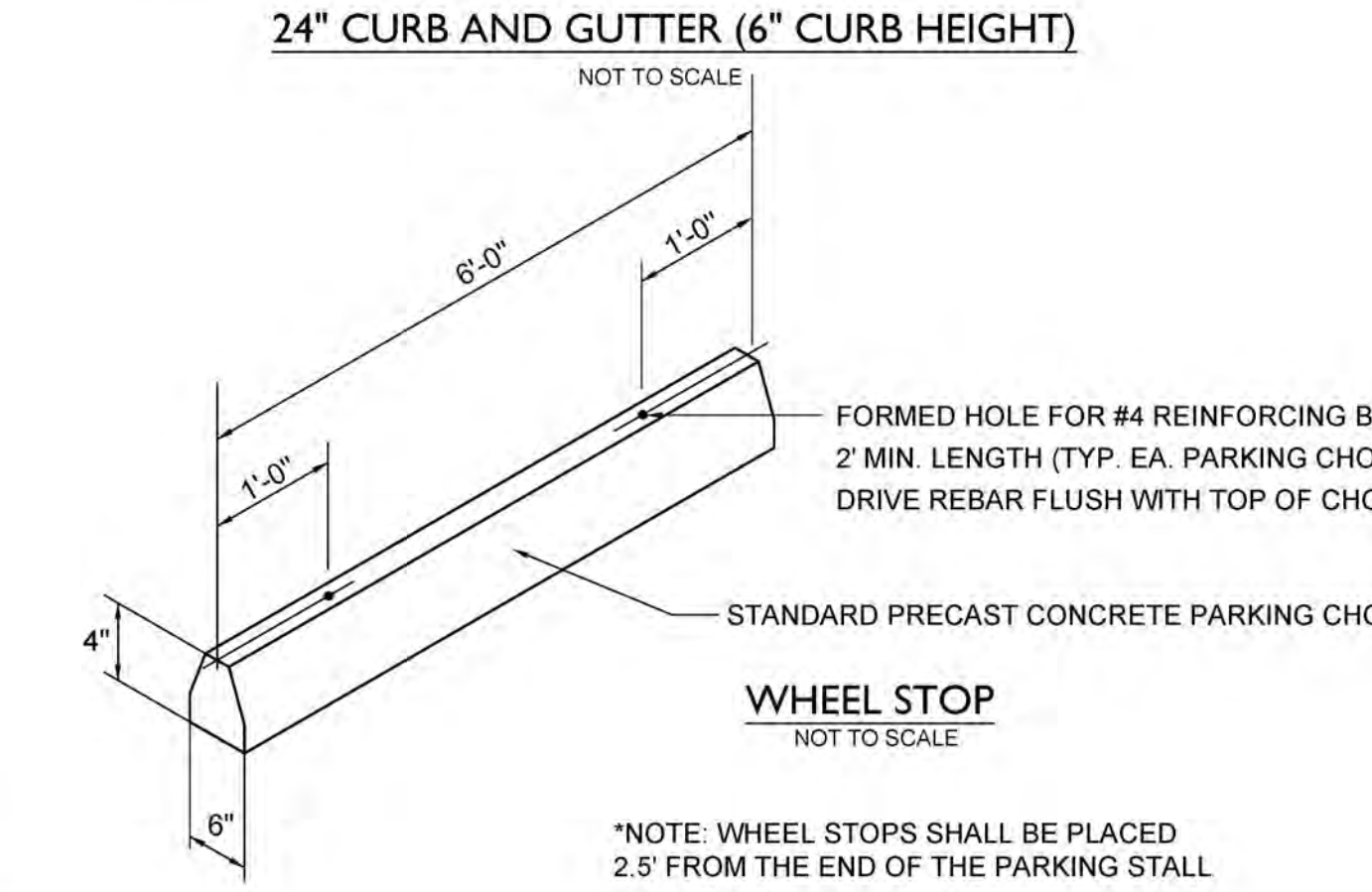
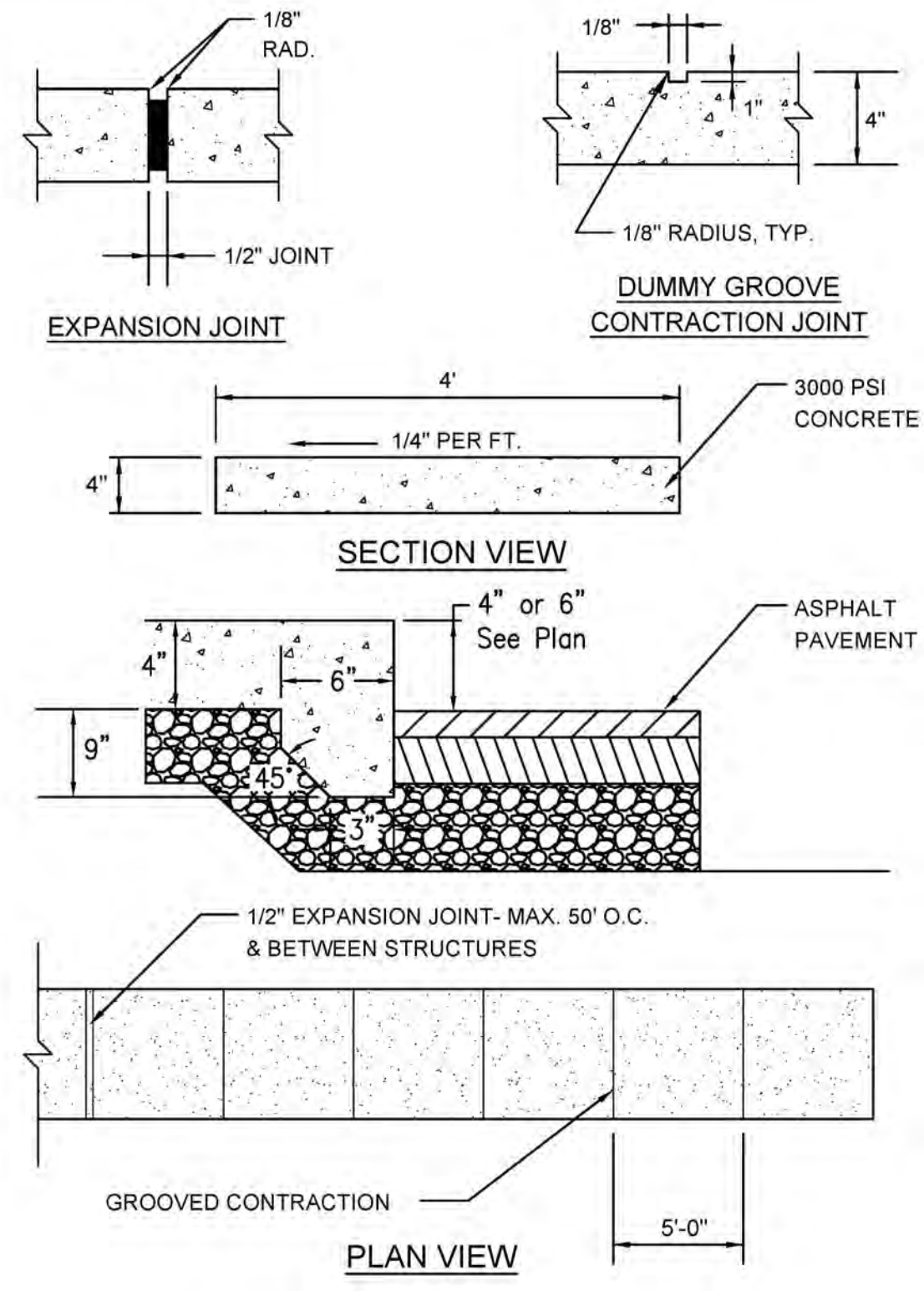
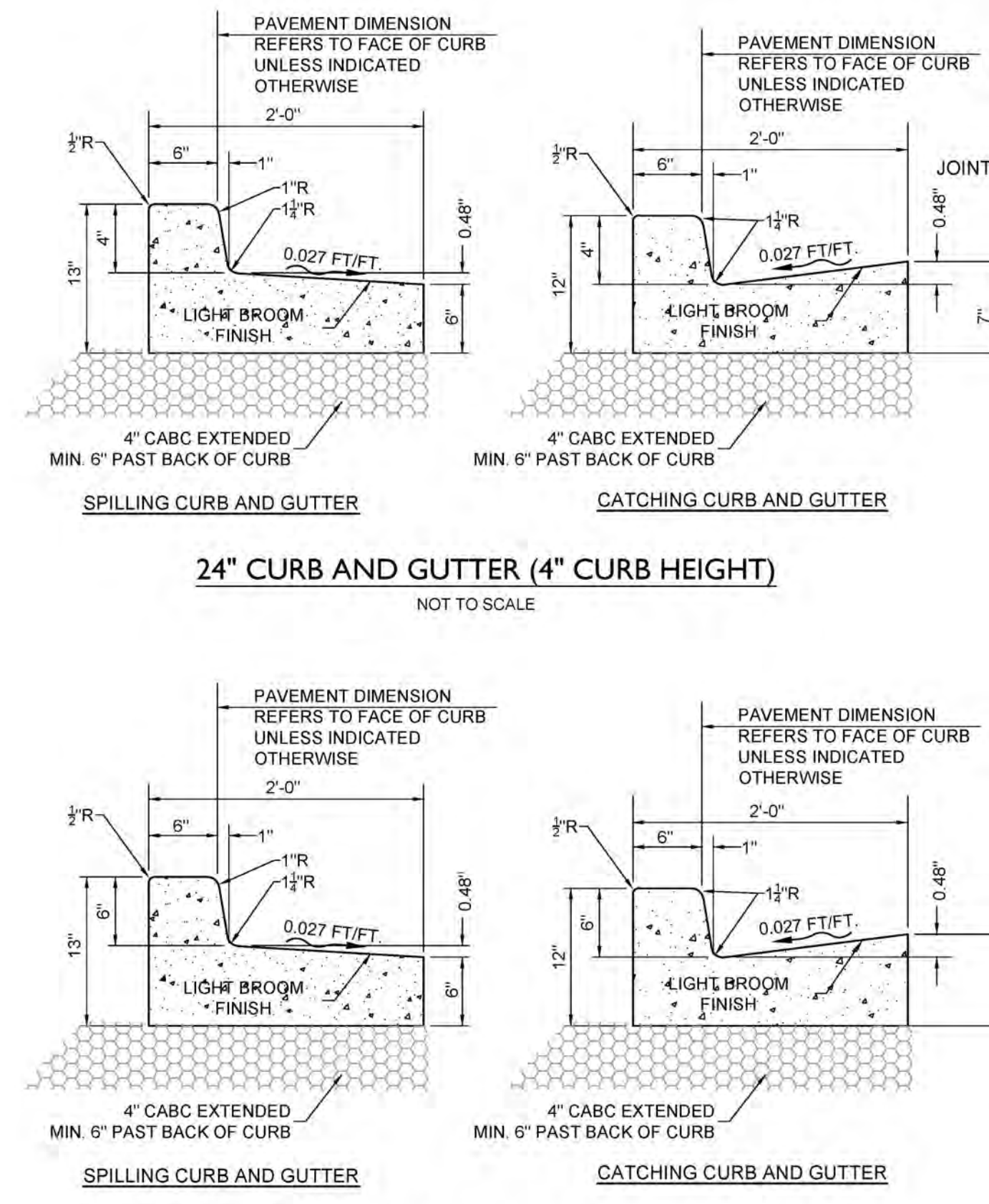
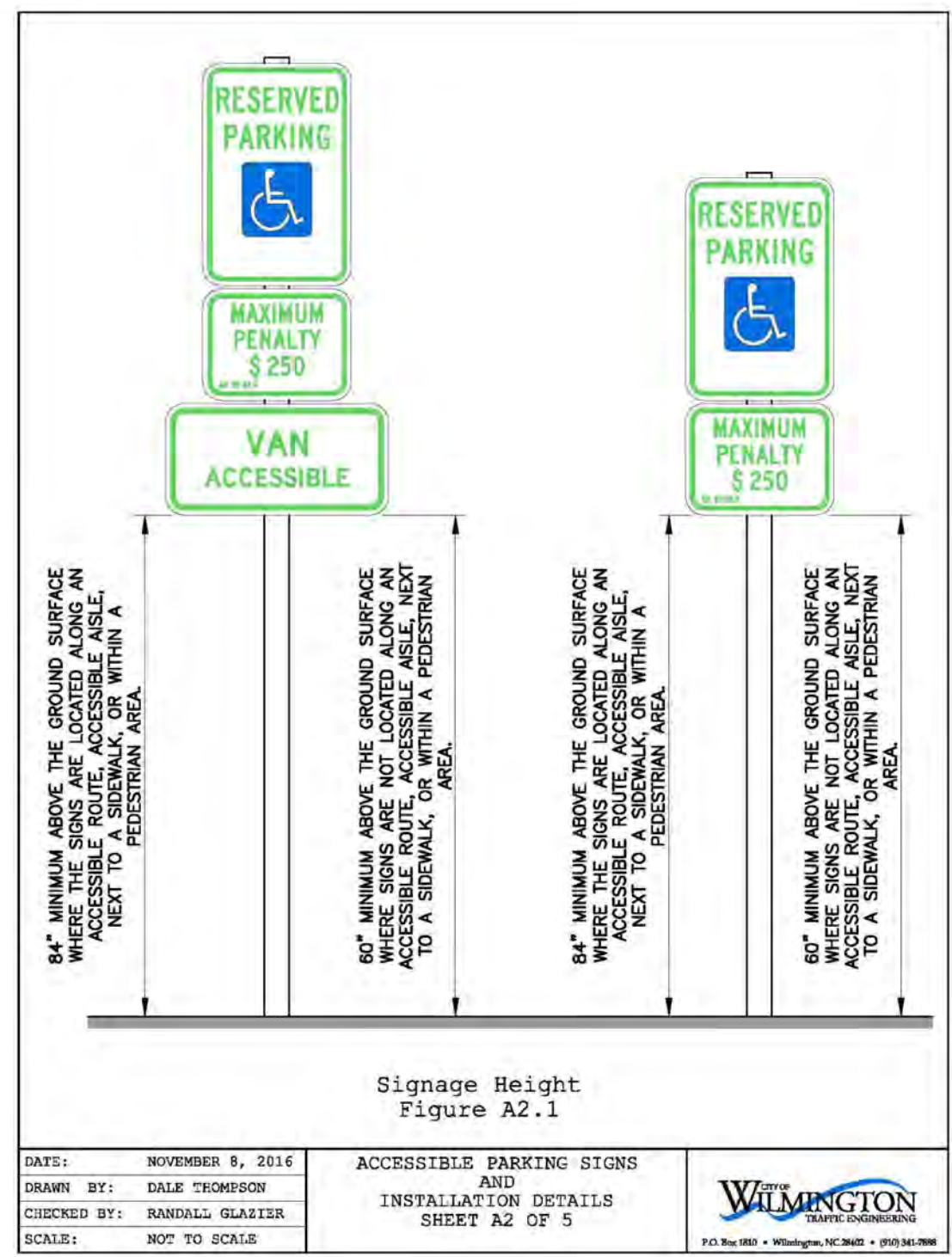
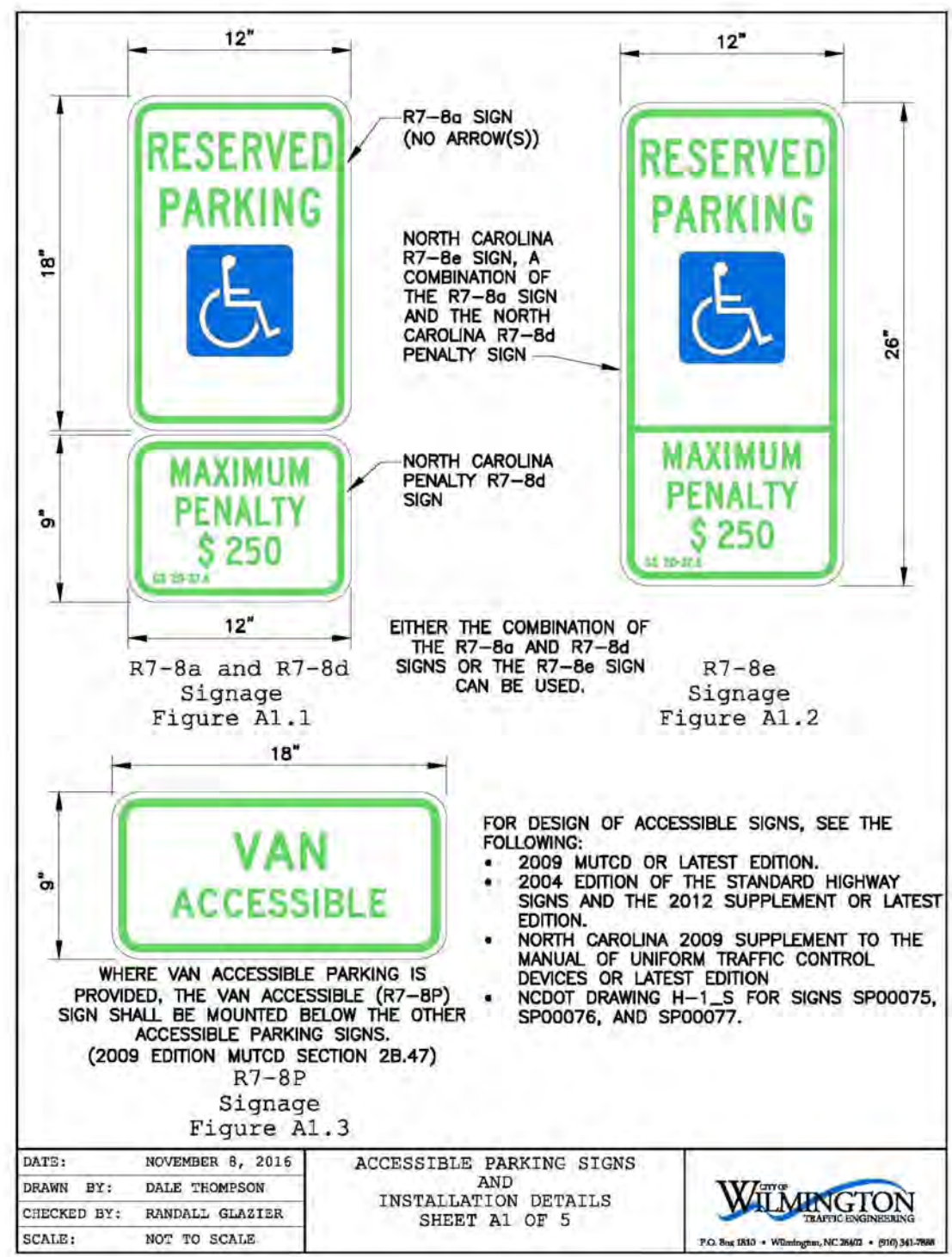
PROJECT STATUS
CONCEPTUAL LAYOUT: 09.28.20
FINAL DESIGN: 10.13.20
RELEASED FOR CONST: 10.13.20

DRAWING INFORMATION
DATE: 09.03.20
SCALE: 1" = 40'
DRAWN: JBS
CHECKED: JBS

Professional Seal
redacted on electronic copy per City of Wilmington Policy

C-5.0
PEI JOB#: 19443 PE

RELEASED FOR CONSTRUCTION



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Date: 11/5/20
2020035
SWP #: 2020036

REVISIONS:

CLIENT INFORMATION:
COLLEGE ACRES DEVELOPMENT, LLC
5217 MARKET STREET
WILMINGTON, NC 28405

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

DETAILS
COLLEGE ACRES APARTMENTS
COLLEGE ACRES DRIVE
WILMINGTON, NEW HANOVER CO., NC

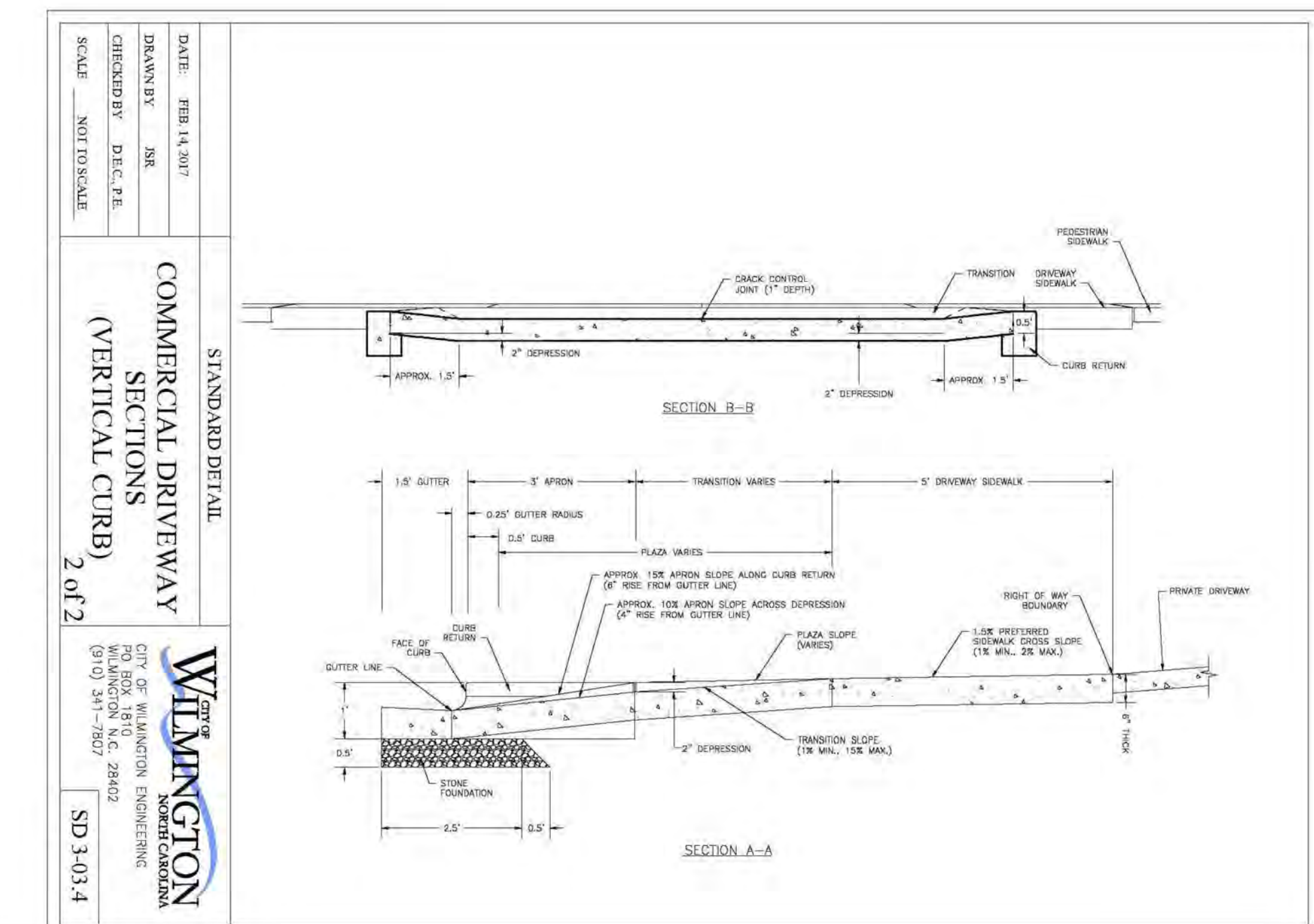
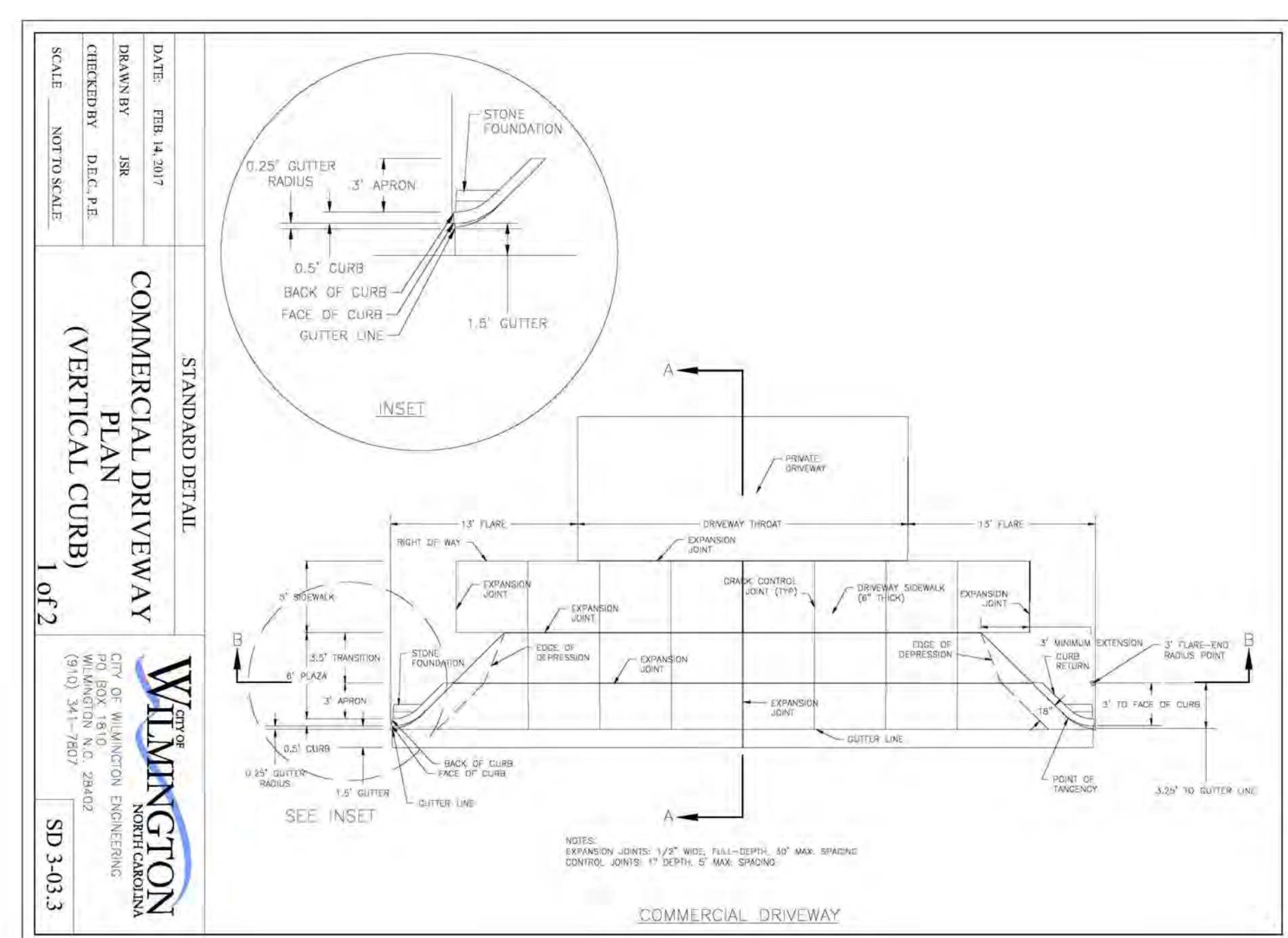
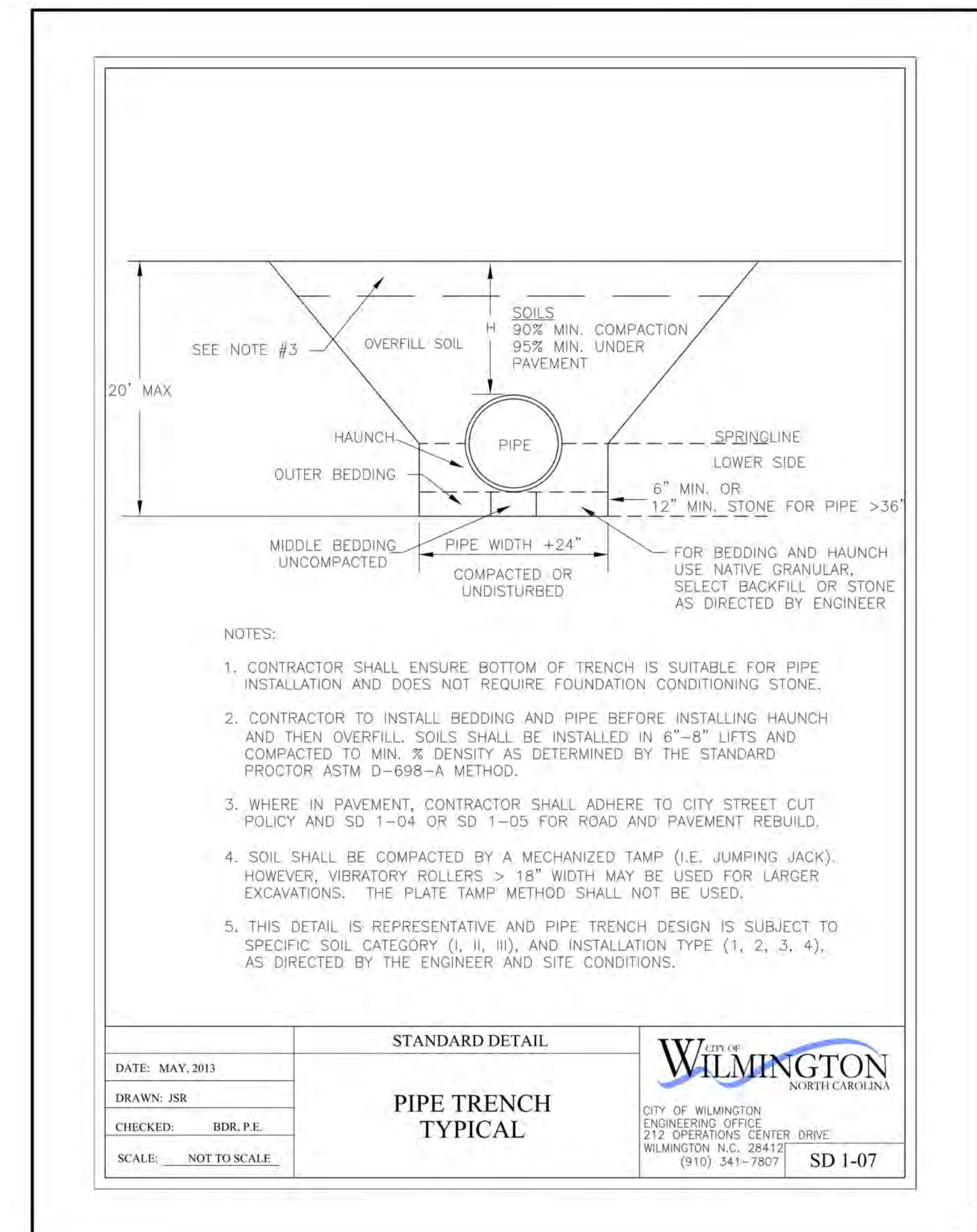
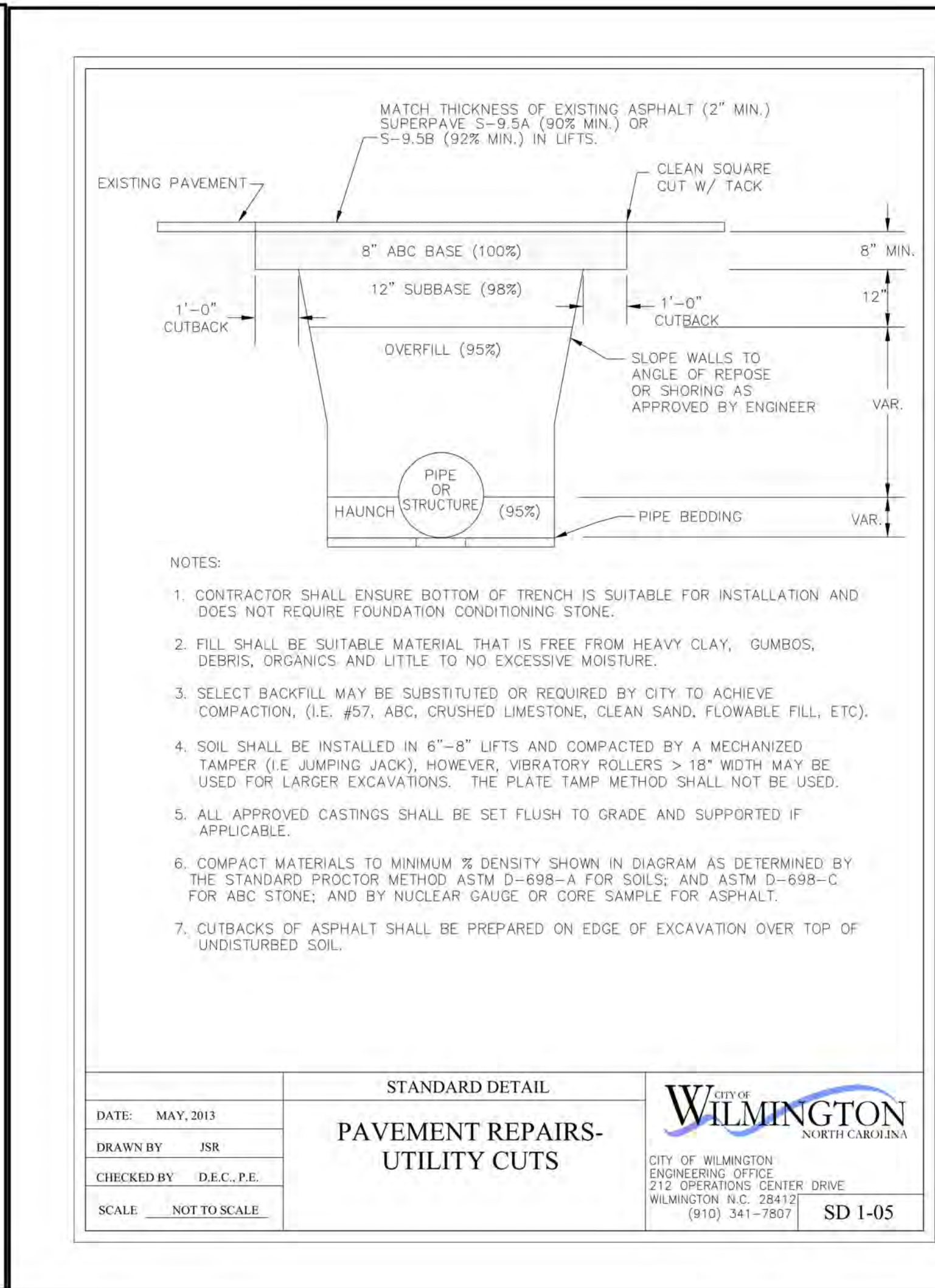
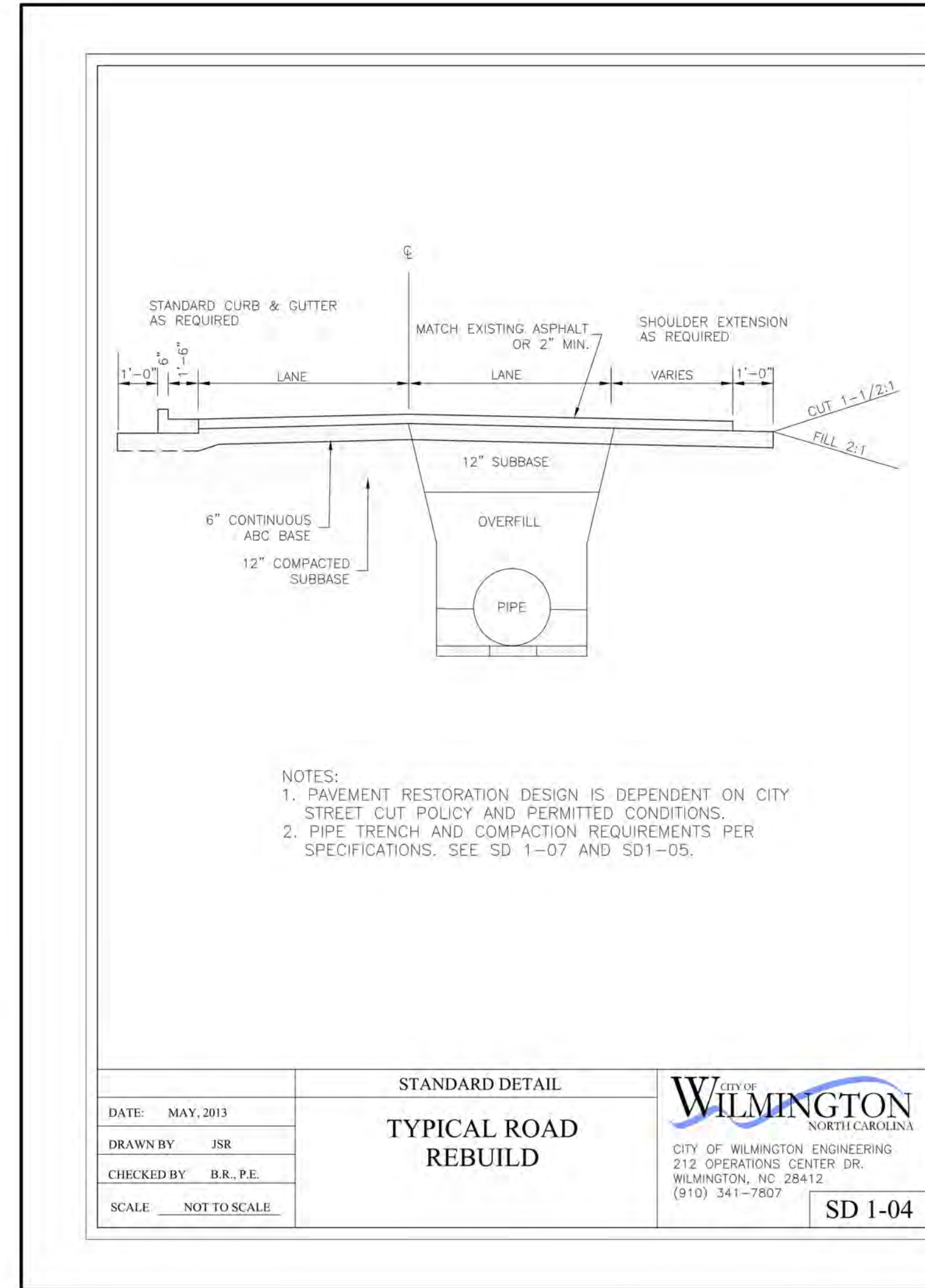
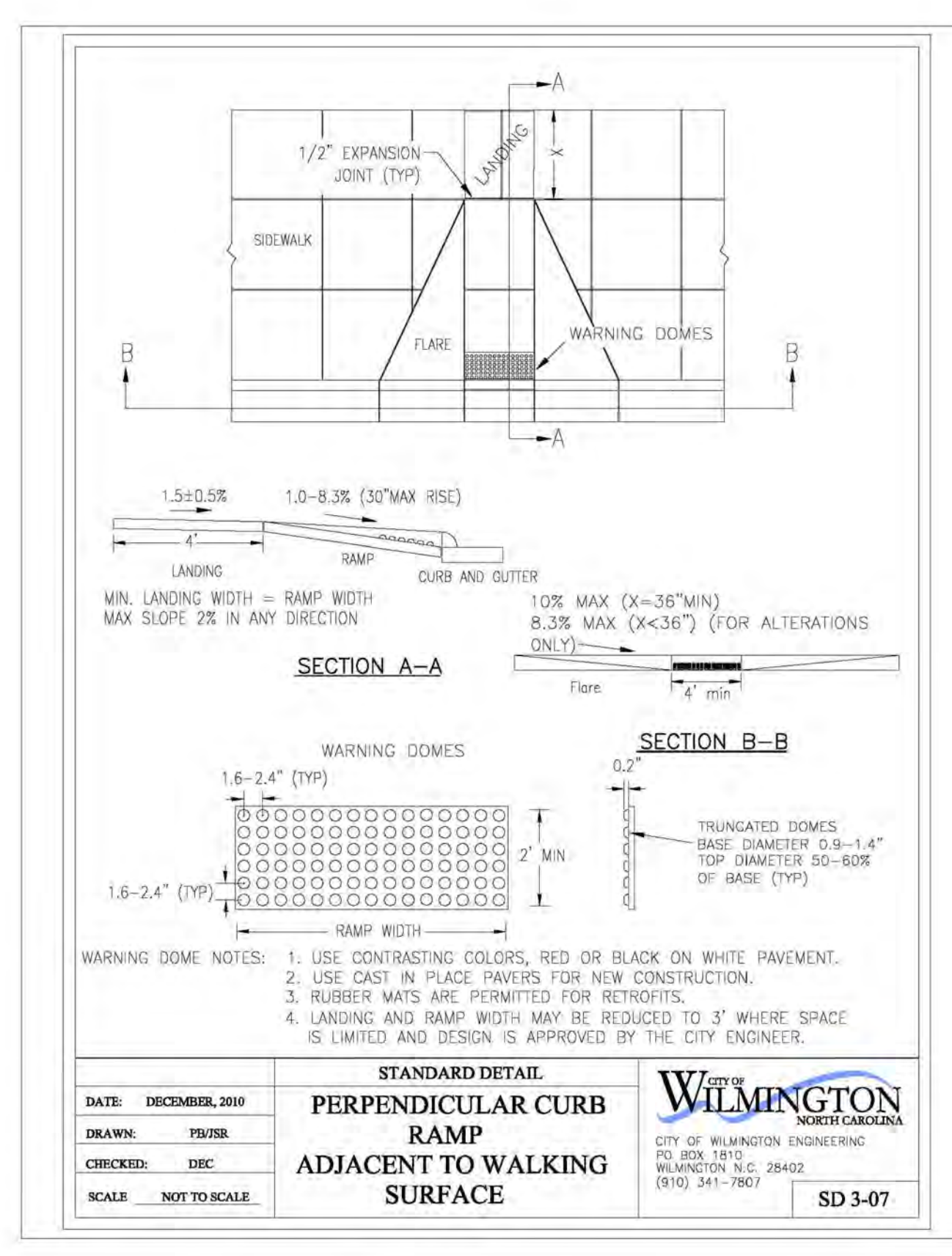
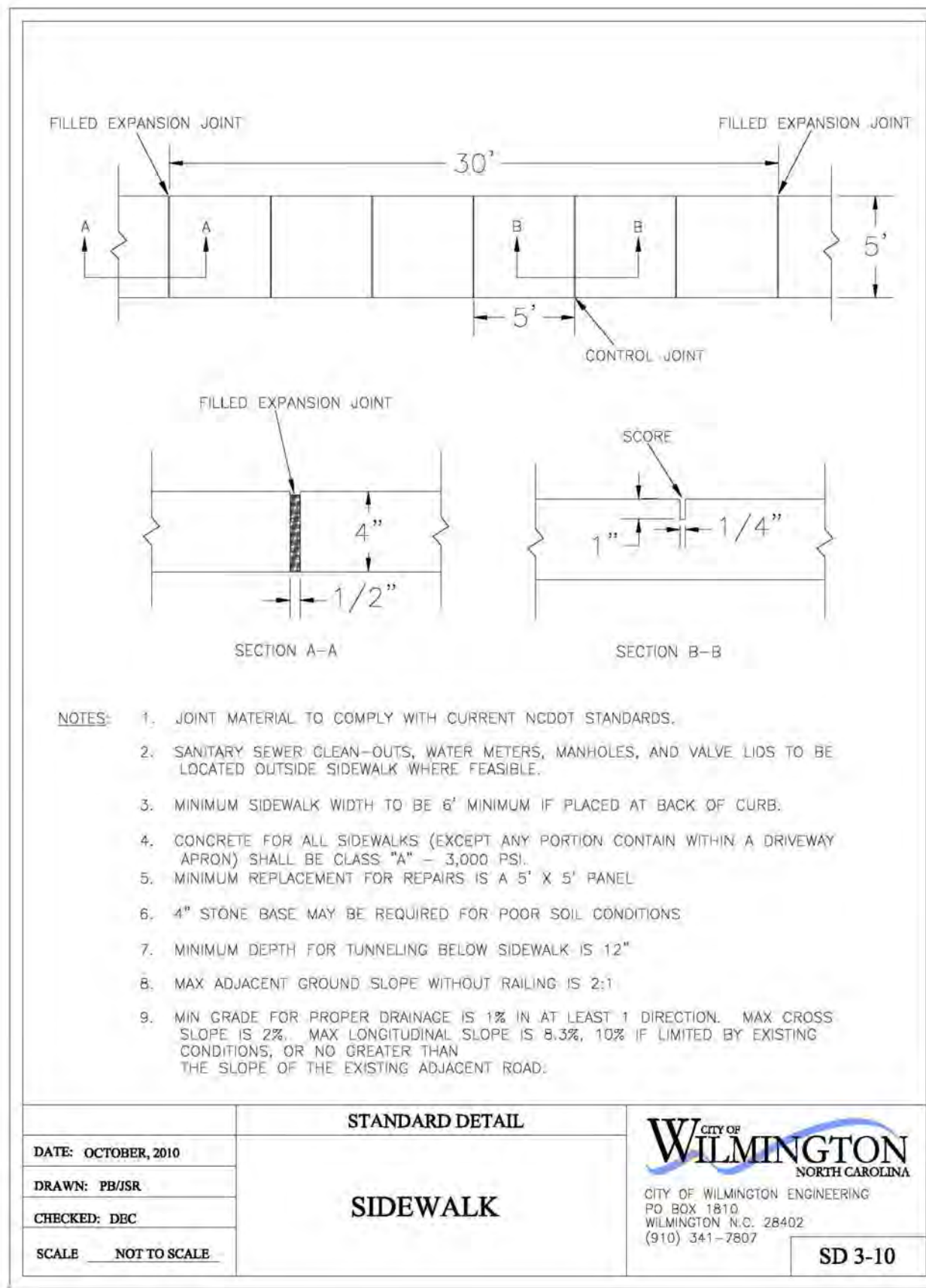
PROJECT STATUS:
ORIGINAL LAYOUT: 9.26.20
FINAL DESIGN: 10.13.20
RELEASED FOR CONSTRUCTION: 10.13.20

DRAWING INFORMATION:
DATE: 02/24/19
SCALE: 1" = 30'
DRAWN BY: JAS
CHECKED BY: JAS

Professional Seal redacted on electronic copy per City of Wilmington Policy

RELEASED FOR CONSTRUCTION

PEI JOB#: 19443 PE



WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: Permit #
Signed:

Approved Construction Plan
Date: 11/5/20
2020035
SWP #: 2020036

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:
COLLEGE ACRES DEVELOPMENT, LLC
5217 MARKET STREET
WILMINGTON, NC 28405

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (F) (910) 791-6760 (P)
NC License #: C-2846

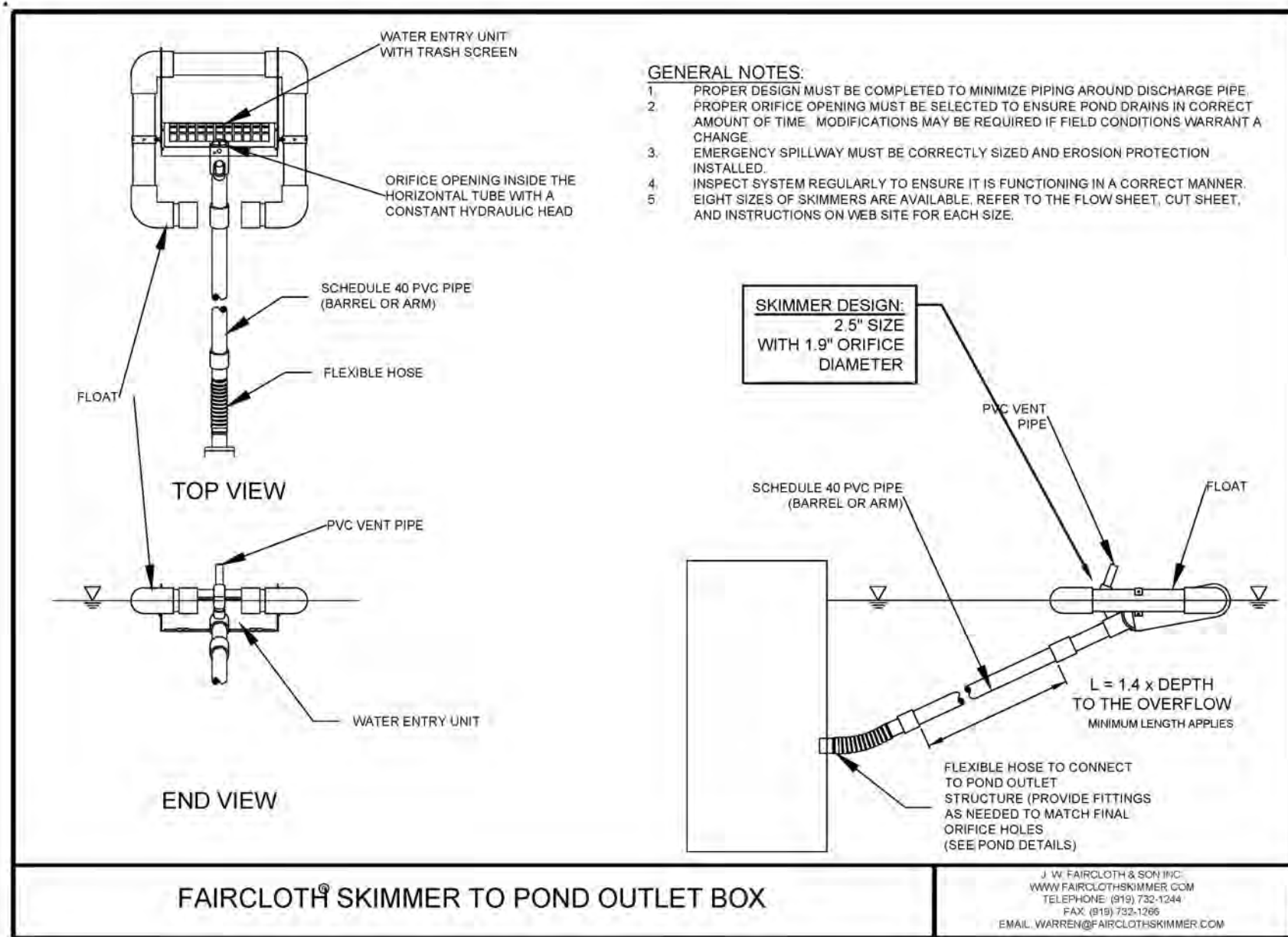
DETAILS
COLLEGE ACRES APARTMENTS
COLLEGE ACRES DRIVE
WILMINGTON, NEW HANOVER CO., NC

PROJECT STATUS:
9:30 AM ORIGINAL LAYOUT
10:15 AM ORIGINAL LAYOUT
10:15 AM FINAL DESIGN
10:15 AM RELEASED FOR CONST.

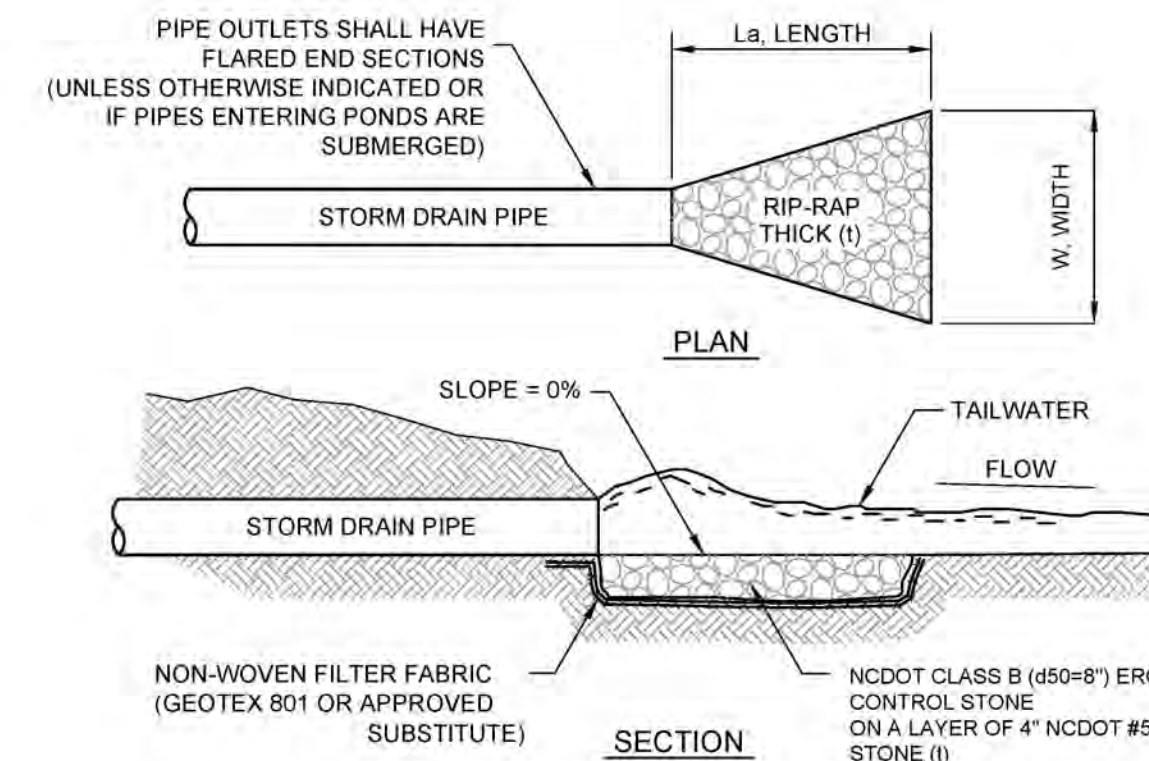
DRAWING INFORMATION:
DATE: 02/24/19
SCALE: 1" = 30'
1" = 30' CURB
DRAWN: JSR
CHECKED: JSR

Professional Seal redacted on electronic copy per City of Wilmington Policy

C-6.1
PEI JOB#: 19443 PE



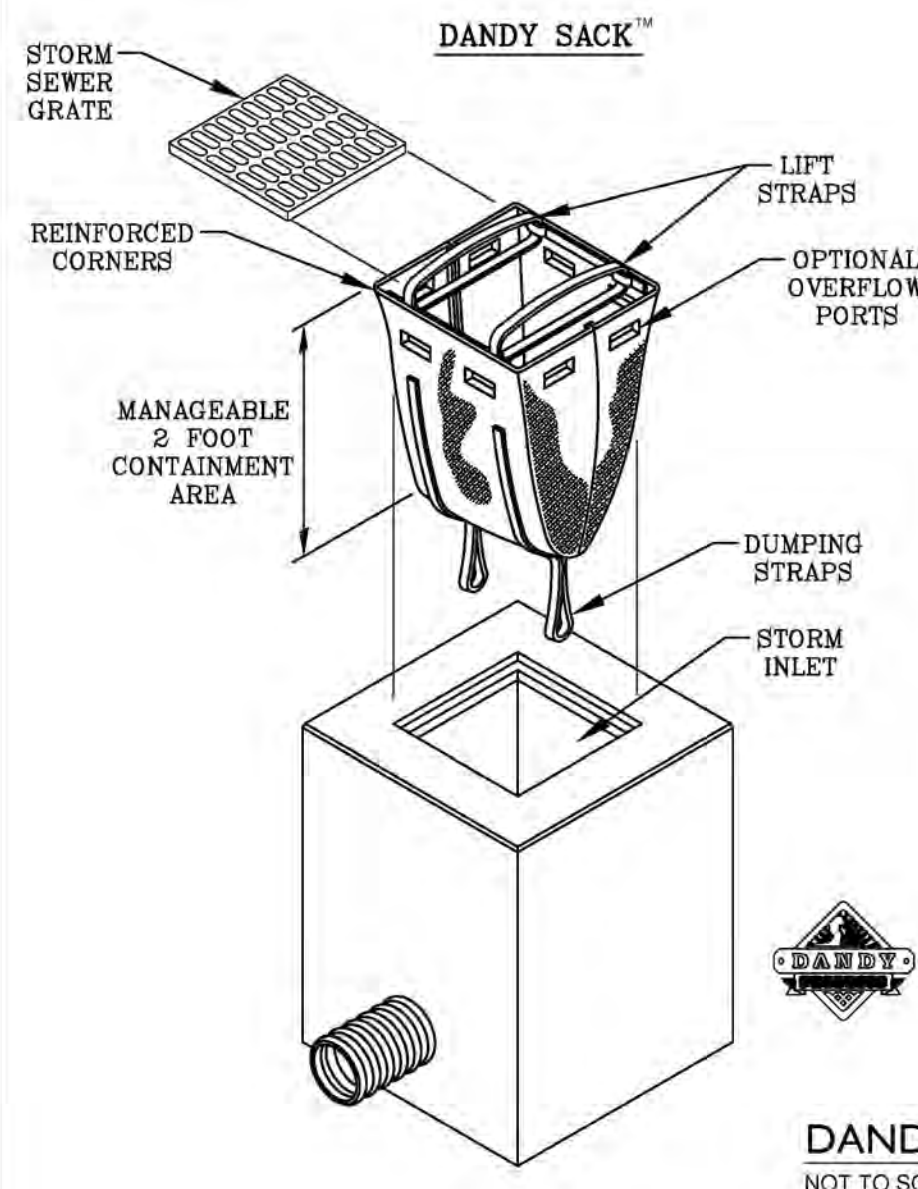
FAIRCLOTH SKIMMER TO POND OUTLET BOX
NOT TO SCALE



RIP-RAP APRON SCHEDULE

RIP-RAP LOCATIONS	PIPE DIA. (IN.)	LENGTH La (FT.)	UPSTREAM WIDTH W (FT.)	DOWNSTREAM WIDTH W (FT.)	STONE THICKNESS (IN.)
FES 100	30	5	7.5	9.5	13.5

RIP-RAP APRON DETAIL
NOT TO SCALE



DANDY SACK INLET PROTECTION
NOT TO SCALE

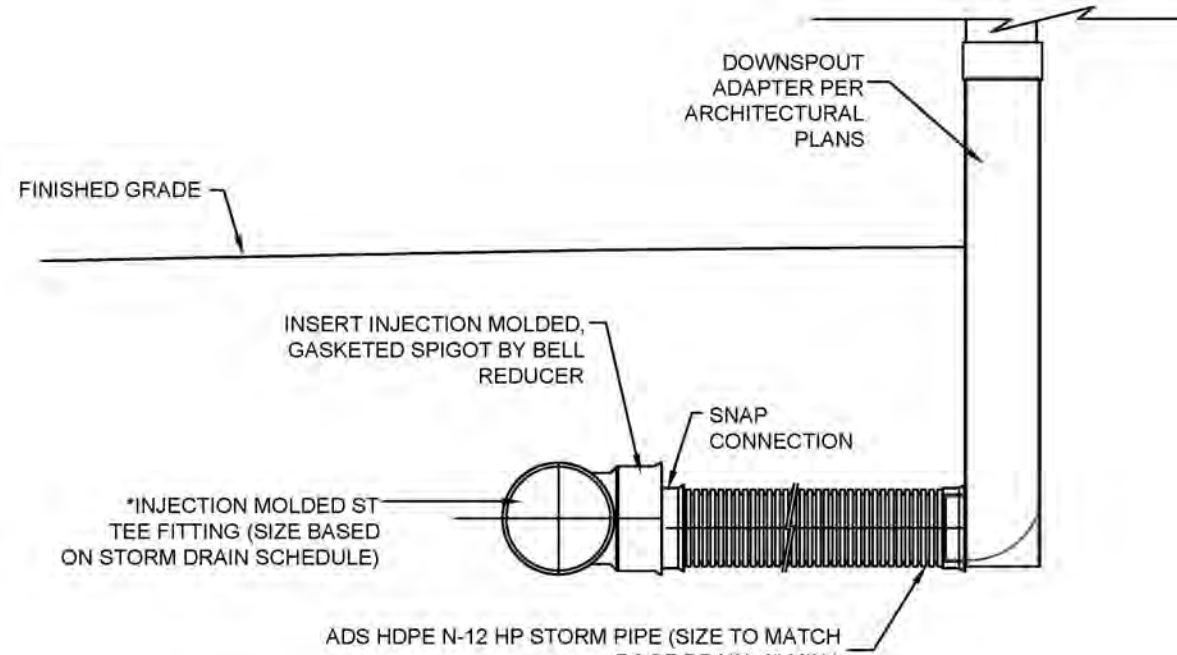
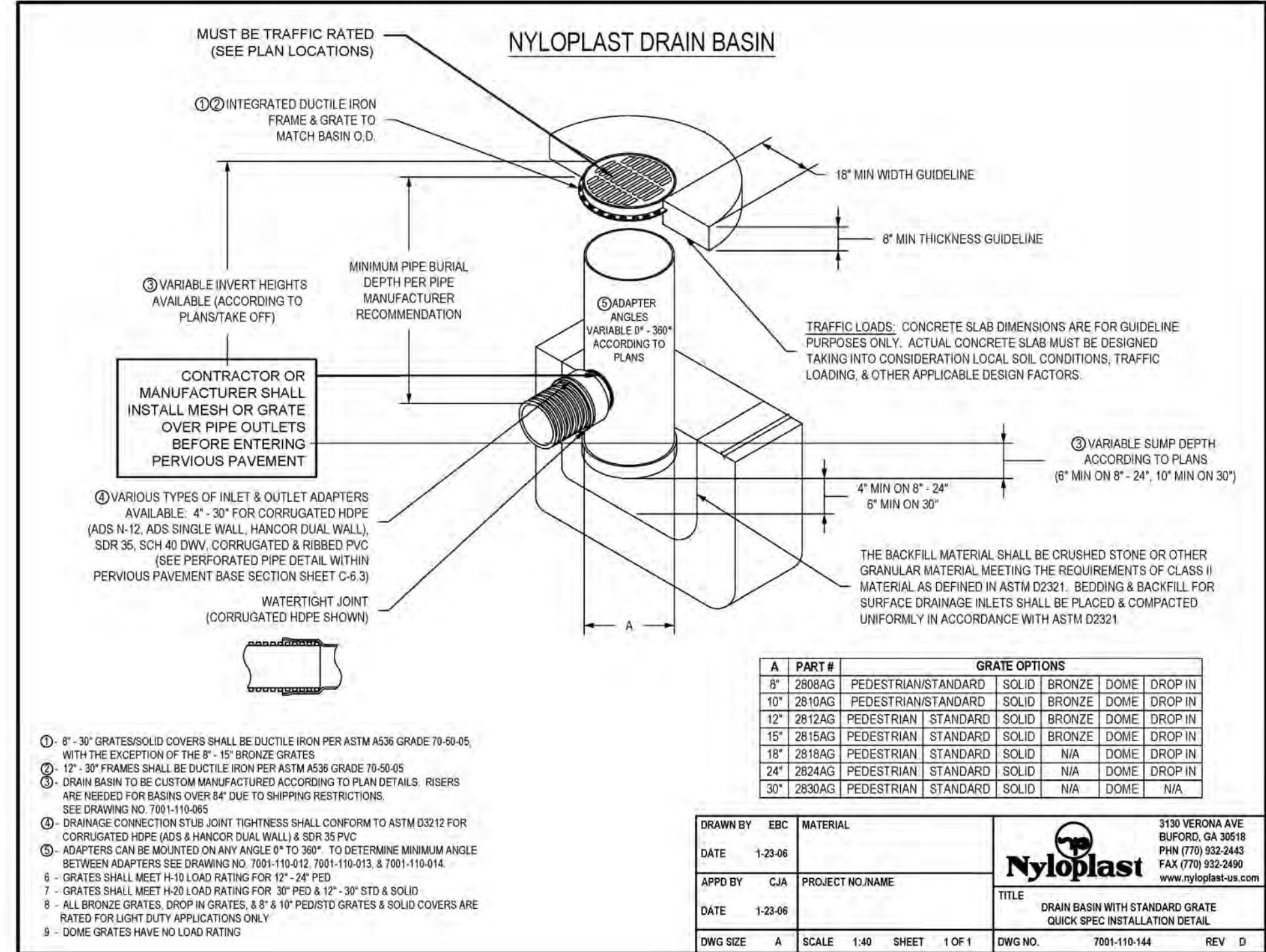
REGULAR FLOW DANDY SACK™ (BLACK)

Mechanical Properties	Test Method	Units	MARY
Grab Tensile Strength	ASTM D 4632	KN (lbs)	1.78 (400) x 1.40 (315)
Grab Tensile Elongation	ASTM D 4632	%	15 x 15
Puncture Strength	ASTM D 4833	KN (lbs)	0.87 (195)
Mullen Burst Strength	ASTM D 3786	KPa (psi)	3508 (500)
Trapezoid Tear Strength	ASTM D 4533	KN (lbs)	0.87 (195) x 0.75 (165)
UV Resistance	ASTM D 4355	%	60
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	1/min/m² (gal/min/ft²)	285 (120)
Permeability	ASTM D 4491	Sec	0.90

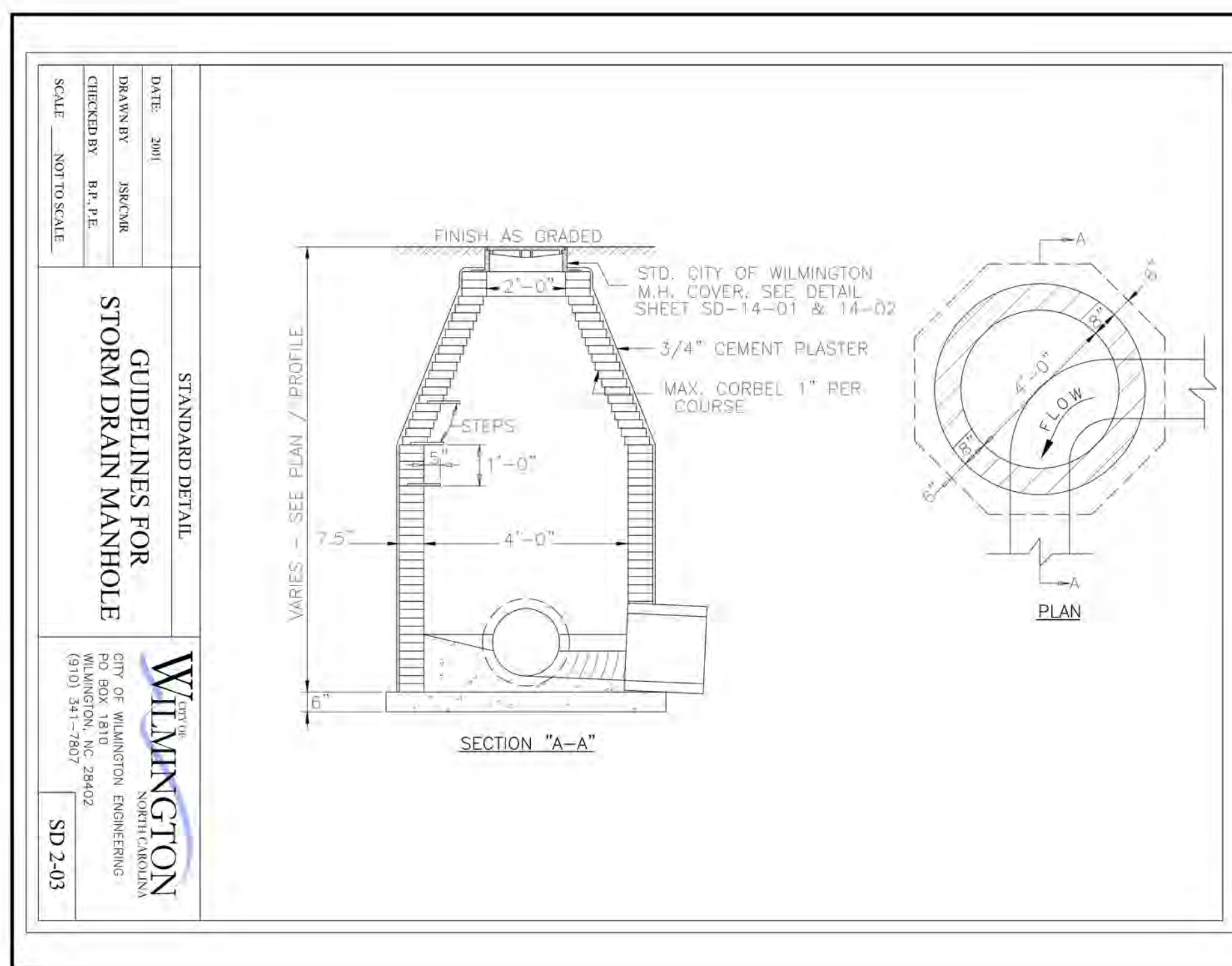
HI-FLOW DANDY SACK™ (SAFETY ORANGE)

Mechanical Properties	Test Method	Units	MARY
Grab Tensile Strength	ASTM D 4632	KN (lbs)	1.62 (365) x 0.89 (200)
Grab Tensile Elongation	ASTM D 4632	%	24 x 15
Puncture Strength	ASTM D 4833	KN (lbs)	0.40 (90)
Mullen Burst Strength	ASTM D 3786	KPa (psi)	3097 (450)
Trapezoid Tear Strength	ASTM D 4533	KN (lbs)	0.51 (115) x 0.33 (75)
UV Resistance	ASTM D 4355	%	60
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	1/min/m² (gal/min/ft²)	5907 (145)
Permeability	ASTM D 4491	Sec	2.1

*Note: All Dandy Sacks™ can be ordered with our optional oil absorbent pillows



ROOF DRAIN DETAIL WITH CLEANOUTS
NOT TO SCALE



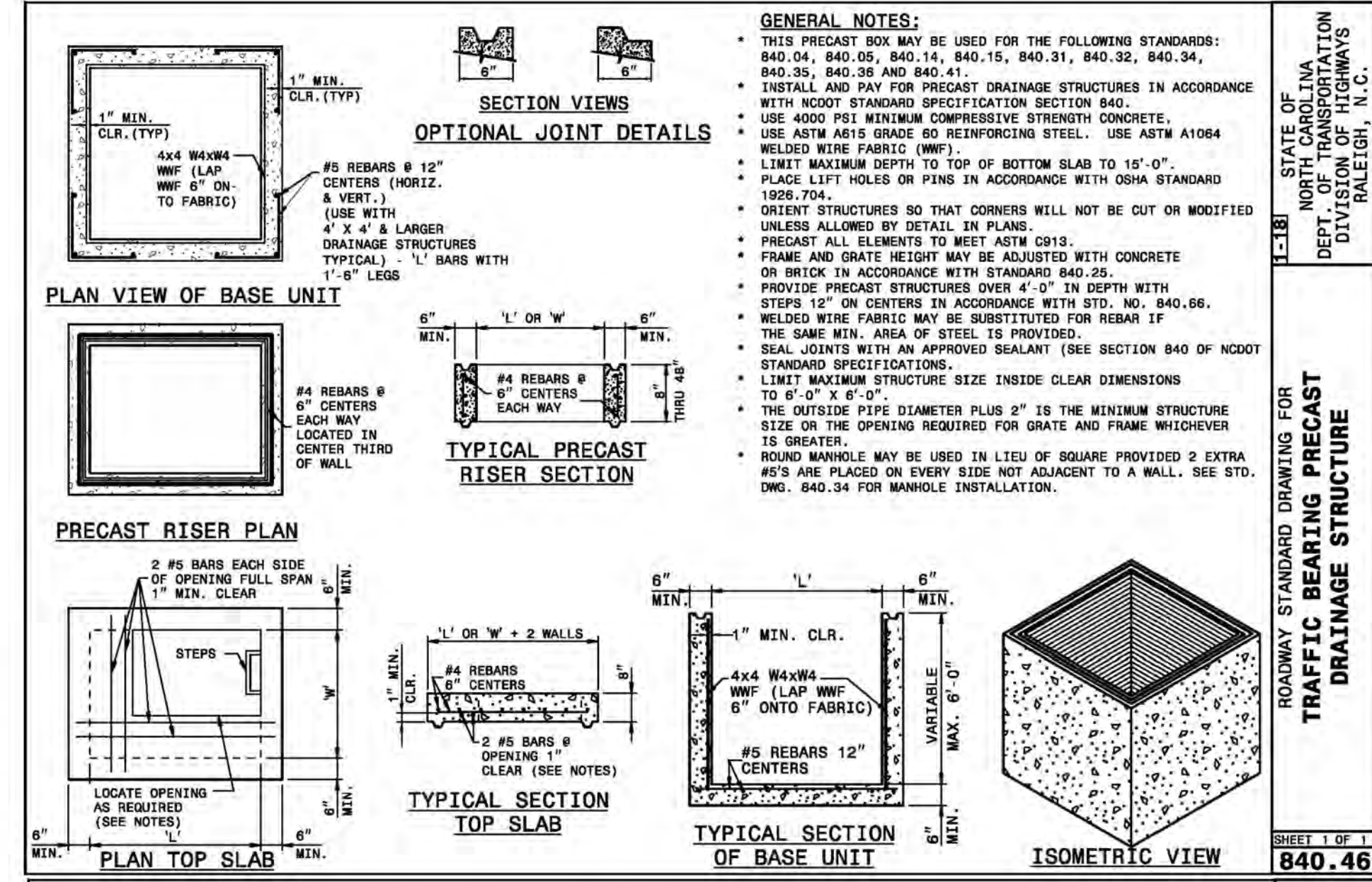
STANDARD DETAIL
GUIDELINES FOR
STORM DRAIN MANHOLE

SD-2-03

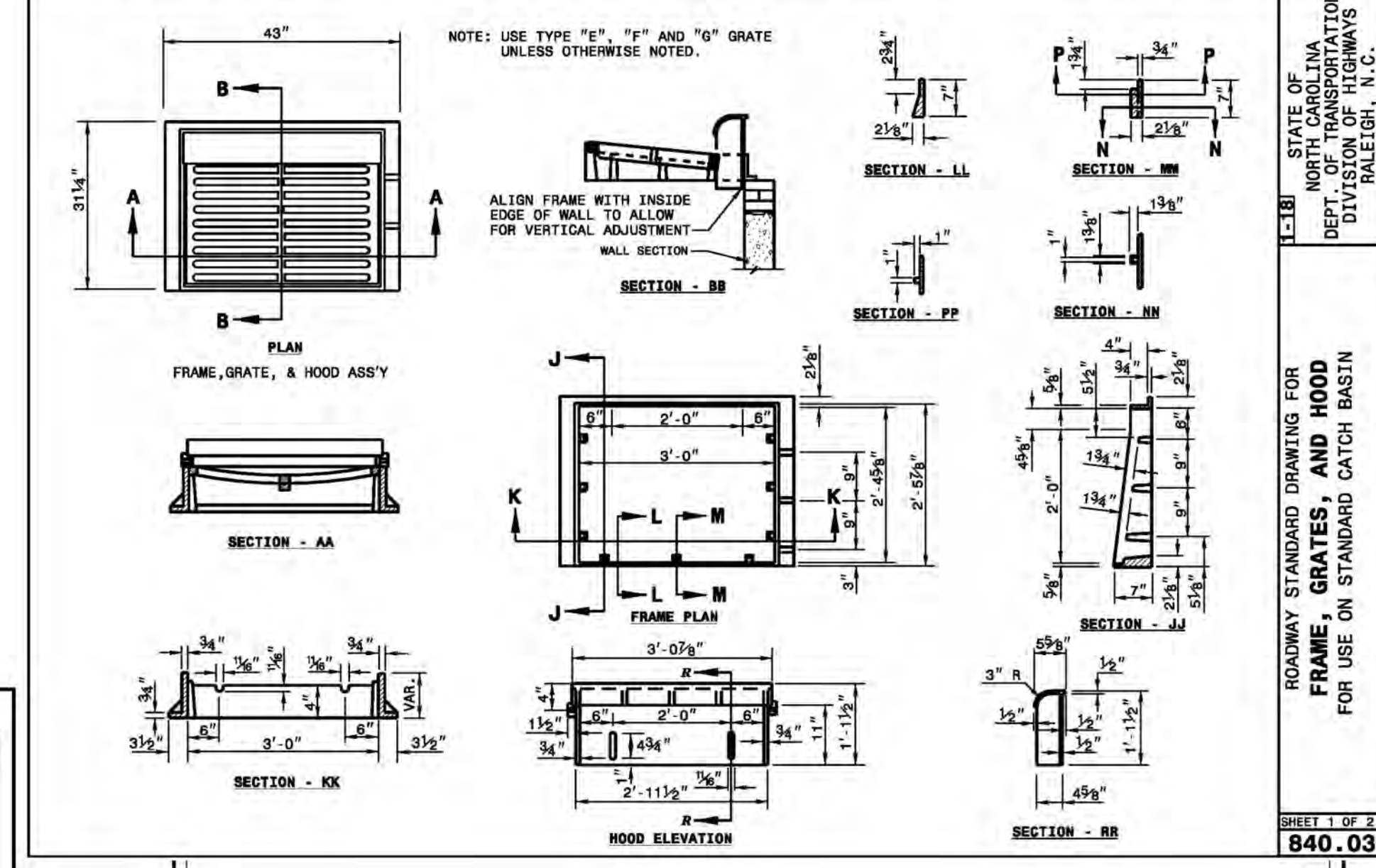
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

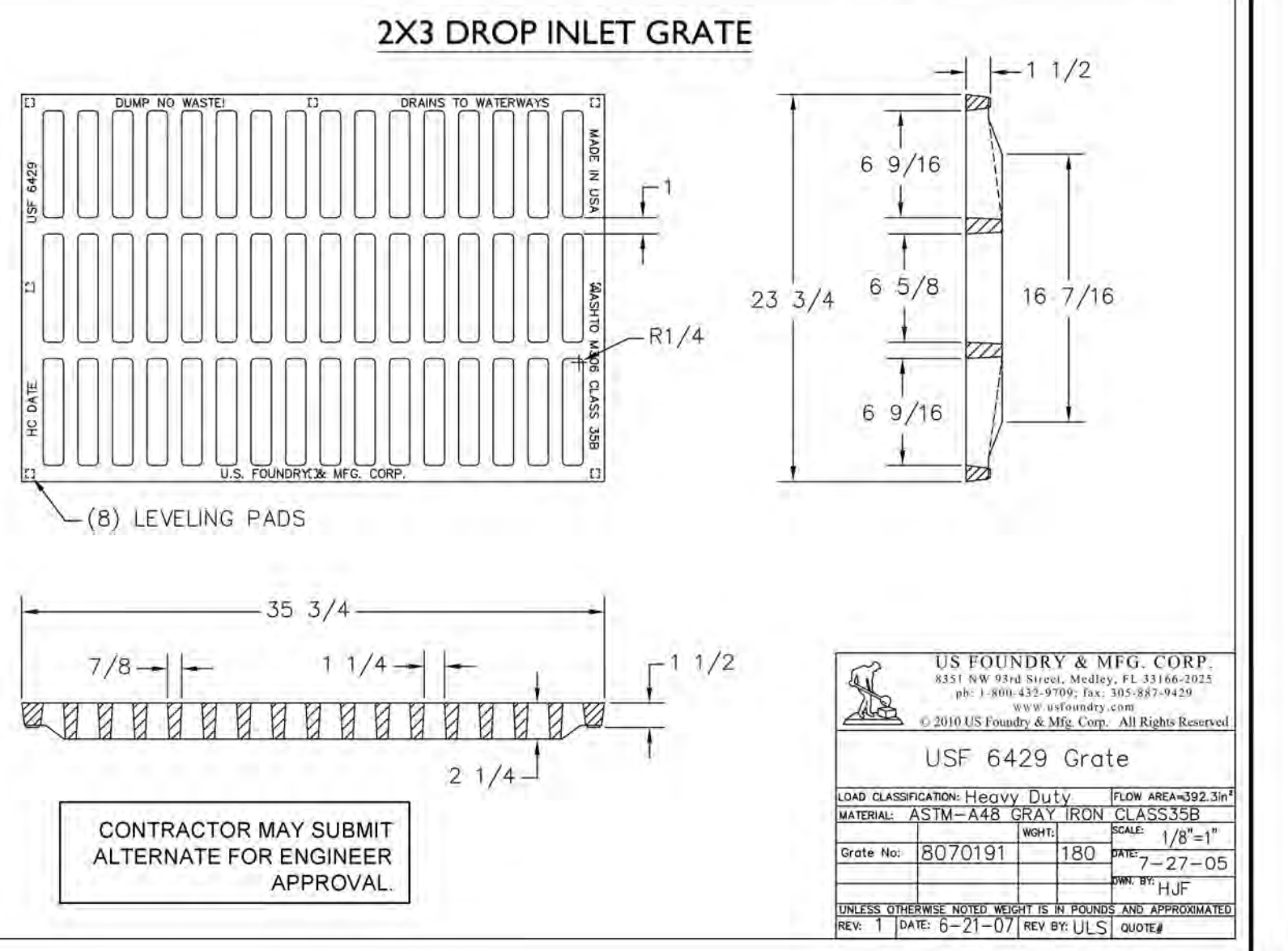
Approved Construction Plan
Date: 11/5/20
2020035
SWP #: 2020036



840.46



840.03



CONTRACTOR MAY SUBMIT ALTERNATE FOR ENGINEER APPROVAL.

US FOUNDRY & MFG. CORP.
4511 NW 52nd Street, Mobile, AL 36688-2012
800-445-4444 • 205-988-9428 • www.usfoundry.com
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USF 6429 Grate
LOAD CLASSIFICATION: Heavy Duty
FLAT AREA: 302 Sq. Ft.
MIN. SPACING: 1/8" (1/8" MIN. SPACING)
Grade No: 8070191
Scale: 1/8" = 1'-0"
Date: 7-27-05
Rev: HJF
USF FOUNDRY & MFG. CORP. 2008
REV 1 DATE: 6-21-07 REV BY: ULS/0008

REVISIONS:

CLIENT INFORMATION
COLLEGE ACRES DEVELOPMENT, LLC
5217 MARKET STREET
WILMINGTON, NC 28405

PARAMOUNT ENGINEERING
122 Cinema Drive
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DETAILS
COLLEGE ACRES APARTMENTS
COLLEGE ACRES DRIVE
WILMINGTON, NEW HANOVER CO., NC

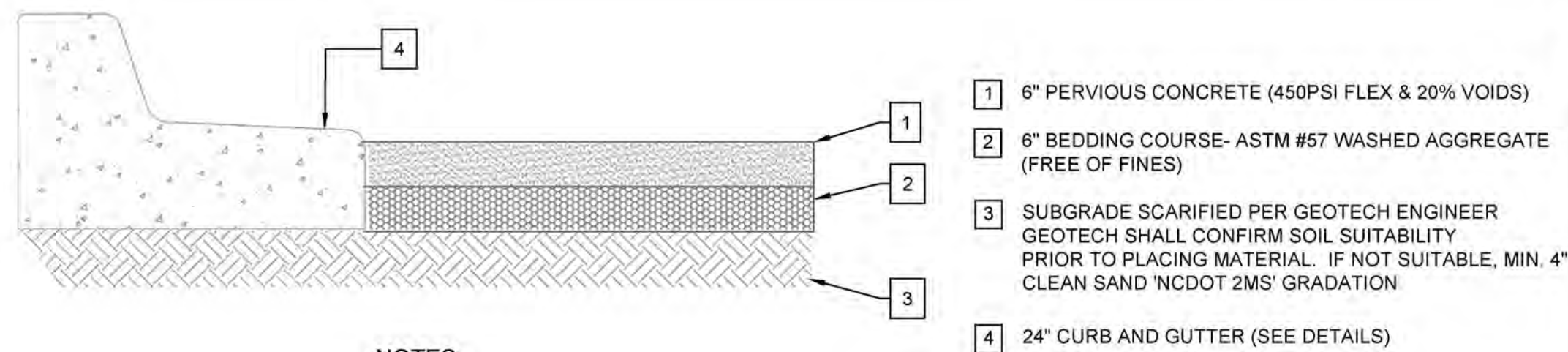
PROJECT STATUS
ORIGINAL LAYOUT: 9/30/20
FINAL DESIGN: 10/13/20
RELEASED FOR CONST.:

DRAWING INFORMATION
DATE: 02/24/19
SCALE: 1" = 30'
DRAWN: JES
CHECKED: JES

Professional Seal
redacted on electronic
copy per City of
Wilmington Policy

C-6.2
PEI JOB#: 19443 PE

RELEASED FOR CONSTRUCTION



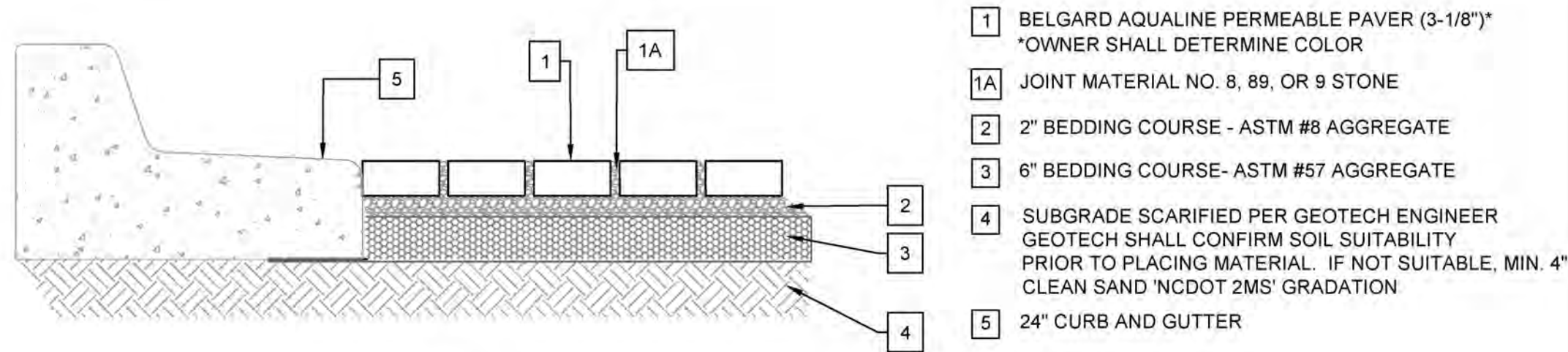
NOTES

1. PERVIOUS CONCRETE SHALL CONFORM TO ALL REQUIREMENTS OF ACI 522.1-13, 'SPECIFICATION FOR PERVIOUS CONCRETE PAVEMENT', PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE EXCEPT AS MODIFIED BY THESE CONTRACT DOCUMENTS.
2. IN-FIELD INFILTRATION TESTING SHALL CONFIRM ECS SOIL TESTS OF EXISTING CONDITIONS.

PERVIOUS CONCRETE PAVEMENT SECTION

NOT TO SCALE

PERVIOUS CONCRETE OPTION 1



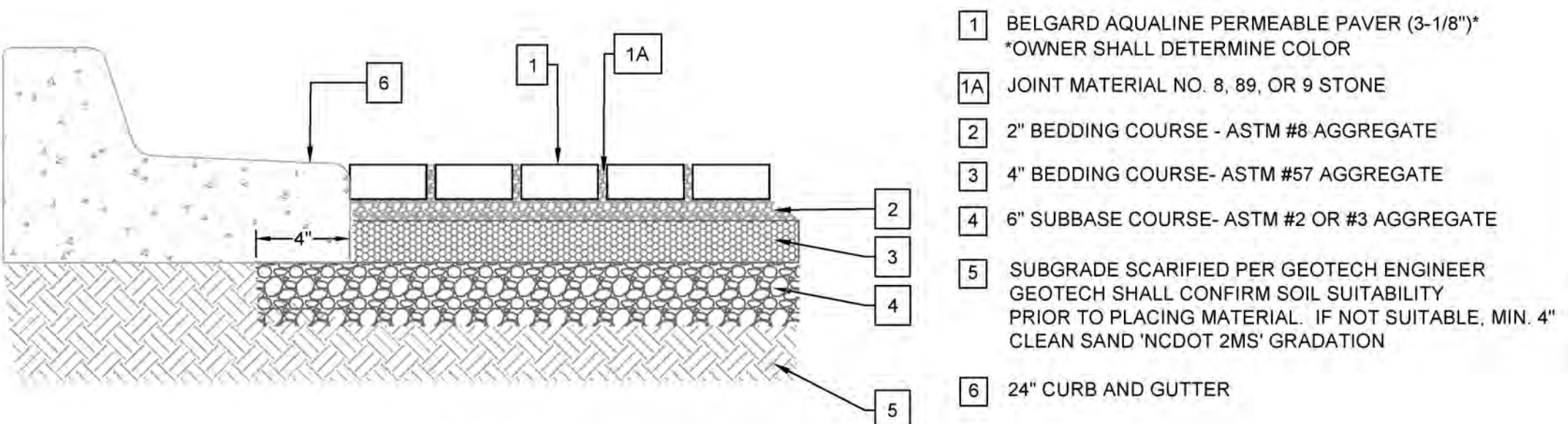
NOTES

1. IN-FIELD INFILTRATION TESTING SHALL CONFIRM ECS SOIL TESTS OF EXISTING CONDITIONS.

PERVIOUS PAVER PARKING SPACE PAVEMENT SECTION

NOT TO SCALE

PERVIOUS PAVERS OPTION 2



NOTES

1. IN-FIELD INFILTRATION TESTING SHALL CONFIRM ECS SOIL TESTS OF EXISTING CONDITIONS.

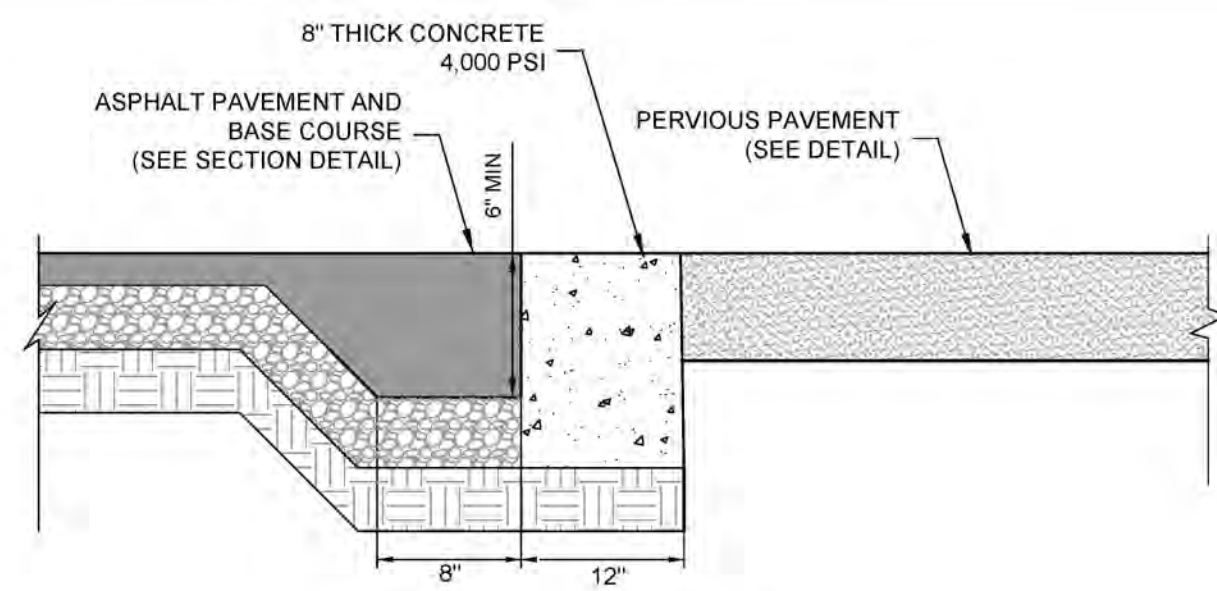
PERVIOUS PAVER DRIVE AISLE PAVEMENT SECTION

NOT TO SCALE

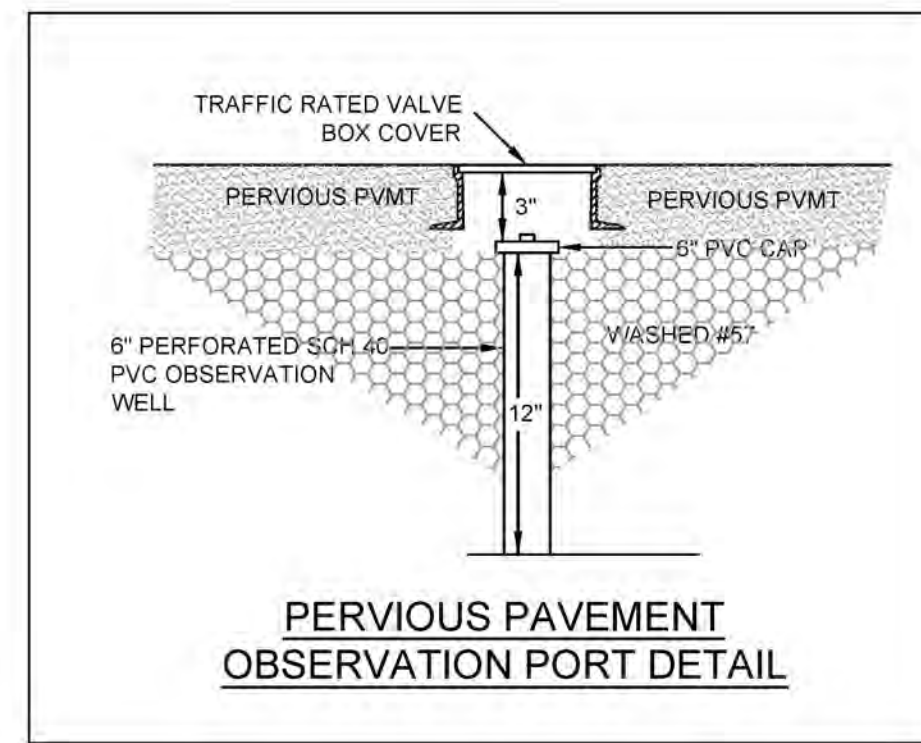
STORMWATER WETLAND ZONE PLANTINGS:

Area #	Shallow Water (0'-9" below permanent pool)					
	Common Name	Botanical Name	Size	Quantity	Comments	
SW 1	Sweet Flag	Acorus calamus	Lg Plug (5-7 cu. inch)	65	Stagger 2' O.C. in groups of 7-9	
	Arrow Arum	Peltandra virginica	Lg Plug (5-7 cu. inch)	65	Stagger 2' O.C. in groups of 7-9	
	Pickereelweed	Pontederia cordata	Lg Plug (5-7 cu. inch)	65	Stagger 2' O.C. in groups of 7-9	
	Lizard Tail	Saururus cenusus	Lg Plug (5-7 cu. inch)	65	Stagger 2' O.C. in groups of 7-9	
SW 2	Broadleaf Arrowhead	Sagittaria lancifolia	Lg Plug (5-7 cu. inch)	65	Stagger 2' O.C. in groups of 7-9	
	Sweet Flag	Acorus calamus	Lg Plug (5-7 cu. inch)	65	Stagger 2' O.C. in groups of 7-9	
	Arrow Arum	Peltandra virginica	Lg Plug (5-7 cu. inch)	65	Stagger 2' O.C. in groups of 7-9	
	Pickereelweed	Pontederia cordata	Lg Plug (5-7 cu. inch)	65	Stagger 2' O.C. in groups of 7-9	
SW 3	Lizard Tail	Saururus cenusus	Lg Plug (5-7 cu. inch)	65	Stagger 2' O.C. in groups of 7-9	
	Broadleaf Arrowhead	Sagittaria lancifolia	Lg Plug (5-7 cu. inch)	65	Stagger 2' O.C. in groups of 7-9	
	Sweet Flag	Acorus calamus	Lg Plug (5-7 cu. inch)	5	Stagger 2' O.C. in groups of 5	
	Arrow Arum	Peltandra virginica	Lg Plug (5-7 cu. inch)	5	Stagger 2' O.C. in groups of 5	

Area #	Temporary Inundation Zone (0'-15" above permanent pool)					
	Common Name	Botanical Name	Size	Quantity	Comments	
TIZ	Coastal Joe Pye Weed	EUPATORIUM DUBIUM	Lg Plug (5-7 cu. inch)	300	Stagger 2' O.C. in groups of 7-9	
	Swamp Verbena	VERBENA HASTATA	Lg Plug (5-7 cu. inch)	300	Stagger 2' O.C. in groups of 7-9	
	Fringed Sedge	CAREX CRINITA	Lg Plug (5-7 cu. inch)	300	Stagger 2' O.C. in groups of 7-9	
	Inkberry	Ilex Glabra	1 GAL	32	Stagger 5' O.C. in groups of 7-9	
	Swamp Rose	Rosa Palustris	1 GAL	32	Stagger 5' O.C. in groups of 7-9	
	Swamp Cyrilla	Cyrilla Racemiflora	1 GAL	32	Stagger 5' O.C. in groups of 7-9	
Bald Cypress	Taxodium distichum	3-4'	5	Shown per plan		
Switchgrass	Panicum virgatum	Lg Plug (5-7 cu. inch)	475	Stagger 2' O.C. in groups of 7-9		
Little bluestem grass	Schizachyrium scoparium	Lg Plug (5-7 cu. inch)	475	Stagger 2' O.C. in groups of 7-10		



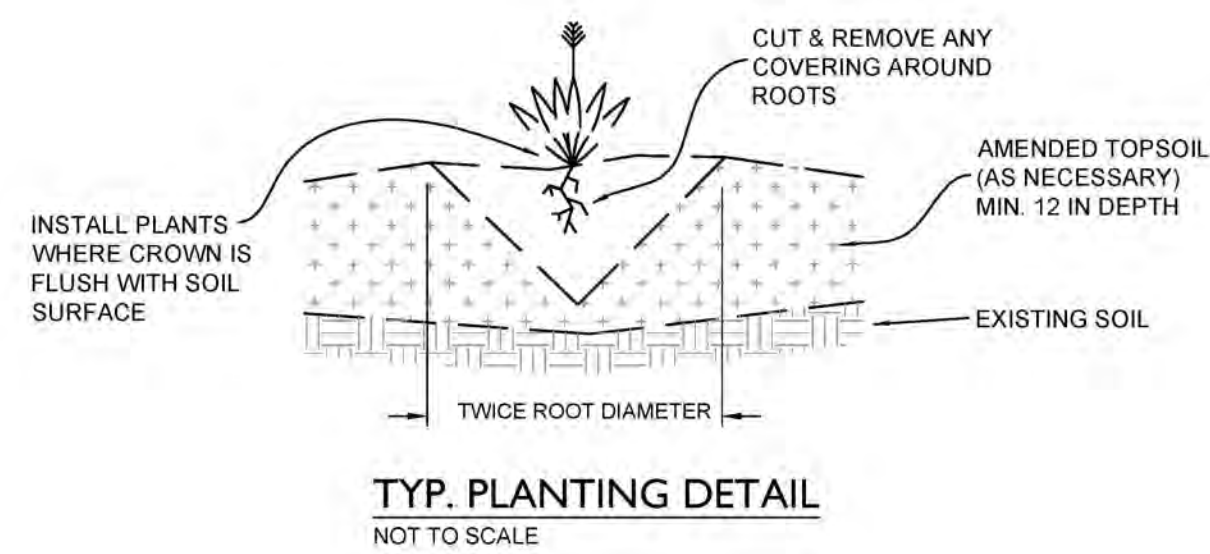
12" HEADER CURB ASPHALT TO PERVIOUS PAVEMENT TRANSITION (TYPICAL)



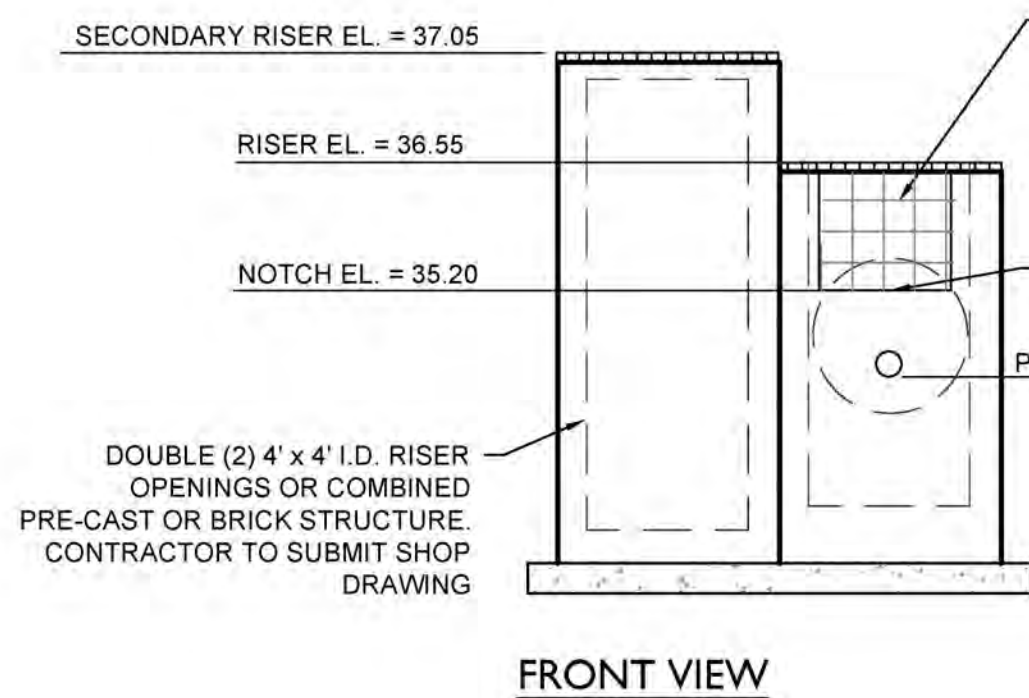
PERVIOUS PAVEMENT OBSERVATION PORT DETAIL

PLANTING SPECIFICATIONS

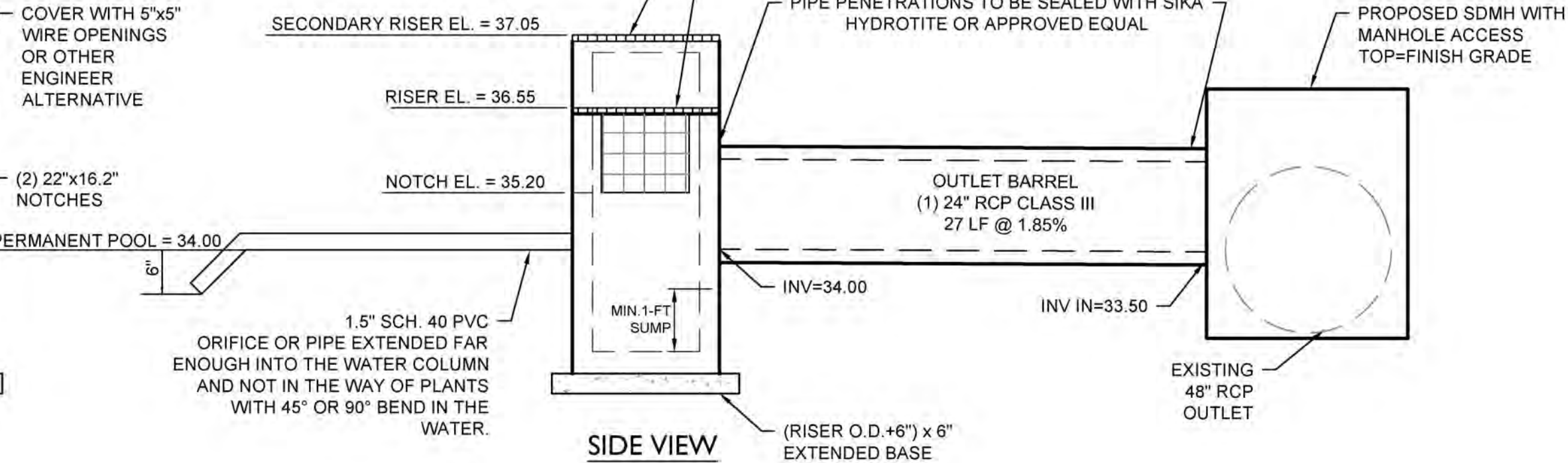
1. APPROXIMATELY 5 GRAMS OF A BALANCED SLOW RELEASE FERTILIZER SHALL BE INSTALLED NEXT TO EACH HERBACEOUS LARGE PLUG WITHIN THE WETLAND. FERTILIZER MAY BE OMITTED IF 6 INCHES OF FERTILE TOPSOIL HAS BEEN APPLIED THROUGHOUT THE WETLAND.
2. ALL PLANTS SHOULD BE PLANTED IN THE SPECIFIED ZONE TO ENSURE SURVIVAL.
3. AVOID PLANTING INDIVIDUAL SPECIES IN LARGE GROUPS BY SPACING CLUSTERS A MIN. OF 5' APART.
4. ALL ZONES TO BE PLANTED WITH BARE ROOT, PLUGS, OR CONTAINER LIVE PLANTINGS AS SPECIFIED.
5. BEGIN PLANTING DURING LOCAL GROWING SEASON IN ORDER TO ENSURE THAT PLANTS HAVE ADEQUATE TIME TO ESTABLISH BEFORE WINTER MONTHS.
6. FRESH PLANTS WILL BE OBTAINED FROM A NURSERY AND WILL BE STORED WITH ROOTS IN MOIST SOILS.
7. PLANTINGS WILL BE INSPECTED AND MAINTAINED. PLANTS WILL BE INSPECTED FOR WASHOUT. WASHED OUT PLANTS WILL BE REPLACED.
8. A SUITABLE STAND OF WETLAND PLANTS WILL BE ESTABLISHED WITHIN 8 MONTHS OF PLANTING. A 90% SURVIVAL RATE MEETS THIS OBJECTIVE. SUPPLEMENTAL PLANTINGS WILL BE PROVIDED AS NEEDED TO MEET THIS CRITERIA.



TYP. PLANTING DETAIL



FRONT VIEW



SIDE VIEW

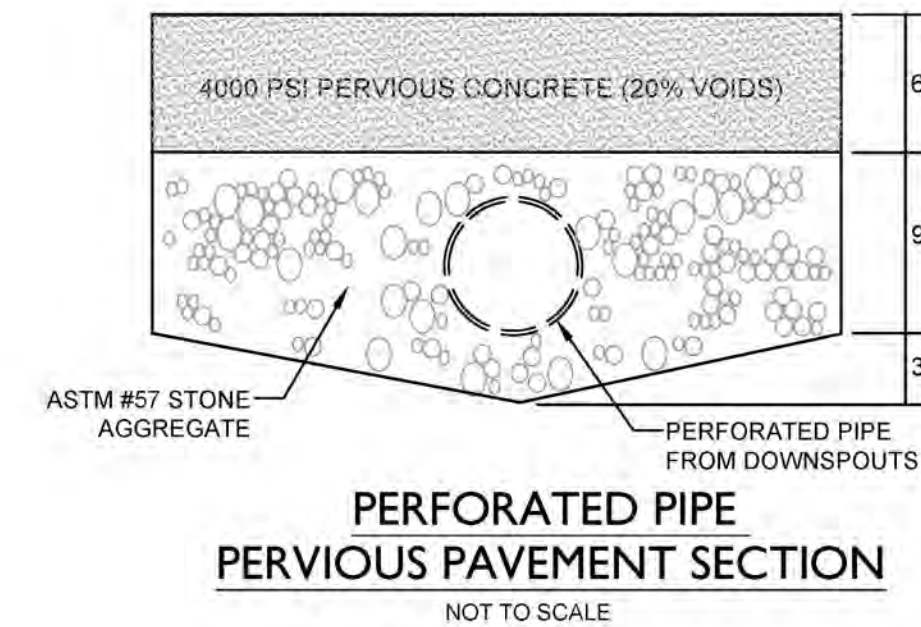
DOUBLE OUTLET STRUCTURE DETAIL

NOT TO SCALE

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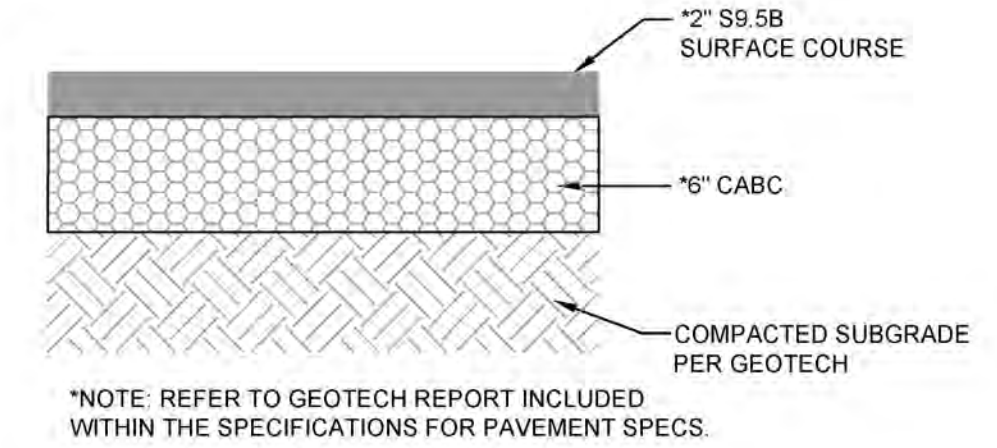
CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Date: 11/5/20
 # 2020035
 SWP #: 2020036



PERFORATED PIPE PERVIOUS PAVEMENT SECTION

NOT TO SCALE

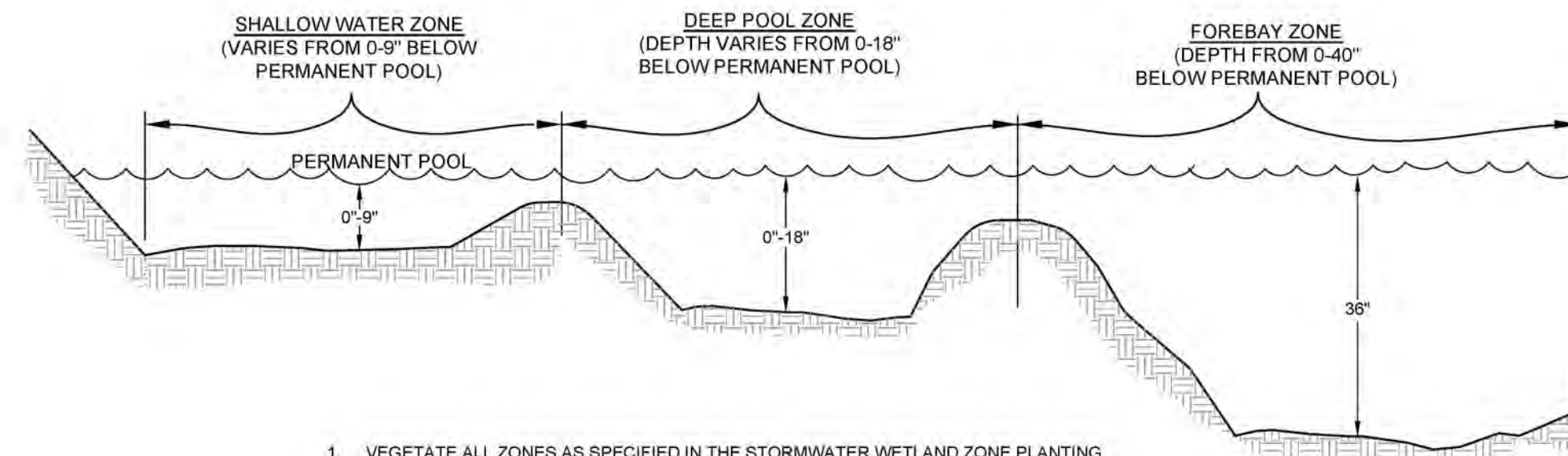


ASPHALT PAVEMENT SECTION

*NOTE: REFER TO GEOTECH REPORT INCLUDED WITHIN THE SPECIFICATIONS FOR PAVEMENT SPECS.

SOIL AMENDMENT SPECIFICATIONS

1. TOPSOIL TO BE ADDED TO TOP OF CONSTRUCTED WETLAND SHELF IF NATIVE SOILS ARE NOT SUITABLE FOR GROWTH OF SELECTED PLANT SPECIES.
2. TOPSOIL SHALL BE WELL MIXED, FREE OF TRASH AND DEBRIS, UNCOMPACTED, AND VOID OF LARGE (>2 INCHES) AND WOODY MATERIAL (>3 INCHES).
3. TOPSOIL (TOP 12") SHALL MEET THE FOLLOWING SPECIFICATIONS: SOIL TYPE: CLAY < 60%, SAND = 80%, SILT < 80% ORGANIC CONTENT: 5-8% P: 20-50 pH: 6.0-7.0
4. IN THE EVENT THAT SELECTED TOPSOIL DOES NOT MEET SPECIFICATION LISTED ABOVE, CONSULT WITH LANDSCAPE ARCHITECT.
5. UPON PLACEMENT OF TOPSOIL, AREA SHOULD BE LIGHTLY COMPACTED TO ENSURE STABILIZATION OF MATERIAL. EXCESSIVE TRAFFICKING OF EQUIPMENT OVER CONSTRUCTED WETLAND PLANTING AREAS SHOULD BE AVOIDED.



1. VEGETATE ALL ZONES AS SPECIFIED IN THE STORMWATER WETLAND ZONE PLANTING.
2. APPROXIMATE % OF EACH ZONE: FOREBAY - 14%, DEEP POOL - 13%, SHALLOW WATER - 42%, AND REMAINDER TEMP. INUNDATION ZONE - 30%.

WETLAND SHALLOW AND DEEP ZONES TYP. SECTION

NOT TO SCALE

REVISIONS:

CLIENT INFORMATION:
 COLLEGE ACRES DEVELOPMENT, LLC
 5217 MARKET STREET
 WILMINGTON, NC 28405

PARAMOUNT ENGINEERING INC.
 122 Cinema Drive
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 (910) 791-6707 (O) (910) 791-6760 (F)
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DETAILS:
 COLLEGE ACRES APARTMENTS
 COLLEGE ACRES DRIVE
 WILMINGTON, NEW HANOVER CO., NC

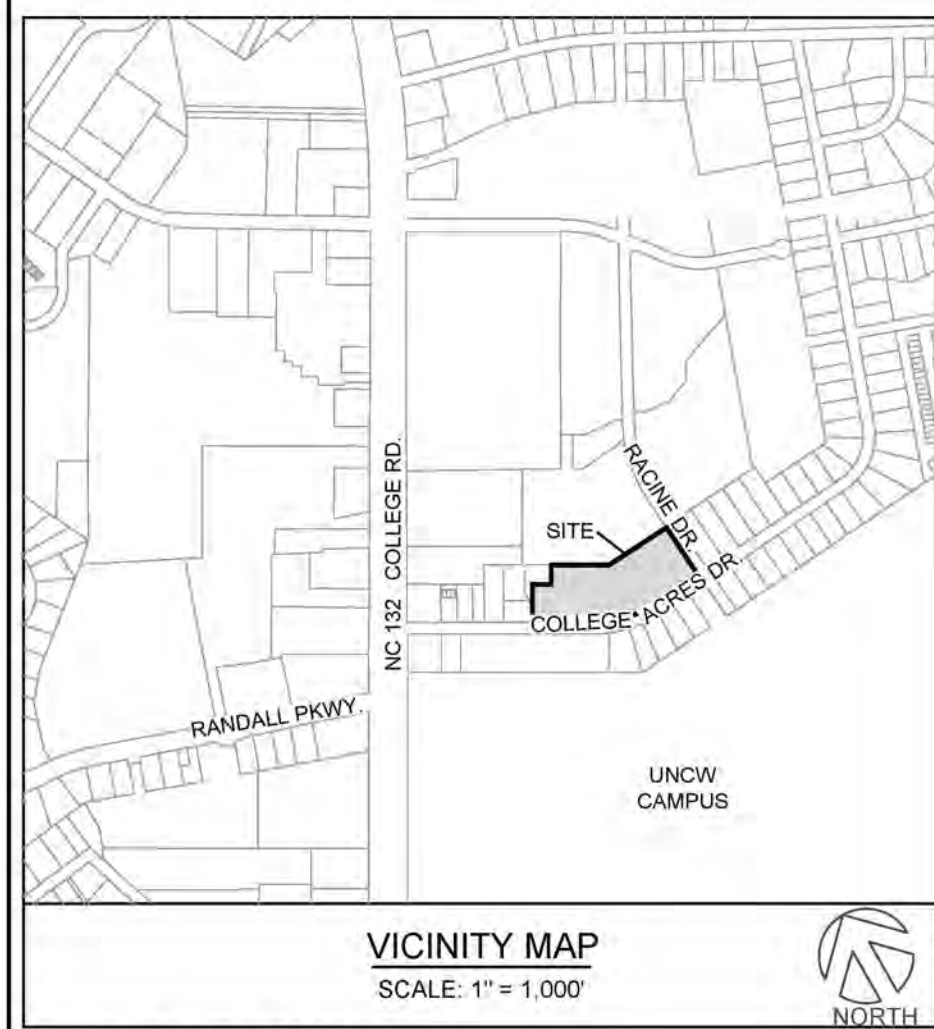
PROJECT STATUS:
 ORIGINAL LAYOUT: 9.30.20
 FINAL DESIGN: 10.13.20
 RELEASED FOR CONST.:

DRAWING INFORMATION:
 DATE: 07/24/19
 NTS: NTS
 SCALE: CUR CUR
 DRAWN: JMS
 CHECKED:

Professional Seal
 redacted on electronic copy per City of Wilmington Policy

C-6.3
 PEI JOB#: 19443 PE

RELEASED FOR CONSTRUCTION



SITE INFORMATION:

PARCEL ID: R05508-002-007 thru 014-000
 CURRENT ZONING: MF-M (CD)
 EXISTING USE: SINGLE-FAMILY RESIDENCES
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL
 PROPERTY AREA: ± 5.53 ACRES (± 241,062 SF)
 PROJECT LIMITS AND DISTURBANCE: ± 5.40 ACRES
 OWNER INFORMATION: SEE SHEET C-2.1 SITE INVENTORY PLAN
 FLOOD INFORMATION: THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3720314700K DATED AUGUST 28, 2018.
 FEMA FLOODPLAIN NOTE: N/A
 CONSERVATION RESOURCES DISTRICT: POCOSIN COLLEGE RD.
 OVERLAY ZONE: N/A
 CAMA AREAS OF ENVIRONMENTAL CONCERN: URBAN
 CAMA FUTURE LAND USE: N/A
 EXISTING HISTORIC AND ARCHAEOLOGICAL SITE: N/A
 EXISTING WETLANDS OR STREAMS: N/A
 EXISTING SURFACE WATERS: N/A

OPEN SPACE DATA:

MF-M REQUIRED: 35% OF TOTAL PROPERTY SUBTRACT NATURAL OR STORMWATER FEATURES:
 TOTAL REQ'D = 241,062 x 0.35
 TOTAL REQ'D = 84,371 SF

OPEN SPACE PROVIDED = 88,845 SF
 (76,548 SF OF RECREATION SPACE & 12,297 SF OF REMAINING UNCOVERED LANDS)

RECREATION AREA REQUIRED: 50% OF OPEN SPACE = 42,186 SF REQ'D.

RECREATION AREA PROVIDED: ACTIVE SPACE (AMENITY, LOOP WALKS, & TWO OPEN YARDS) TOTAL = 28,181 SF
 PASSIVE SPACE (BUILDING YARDS, TWO OPEN YARDS & WETLAND) TOTAL = 48,367 SF

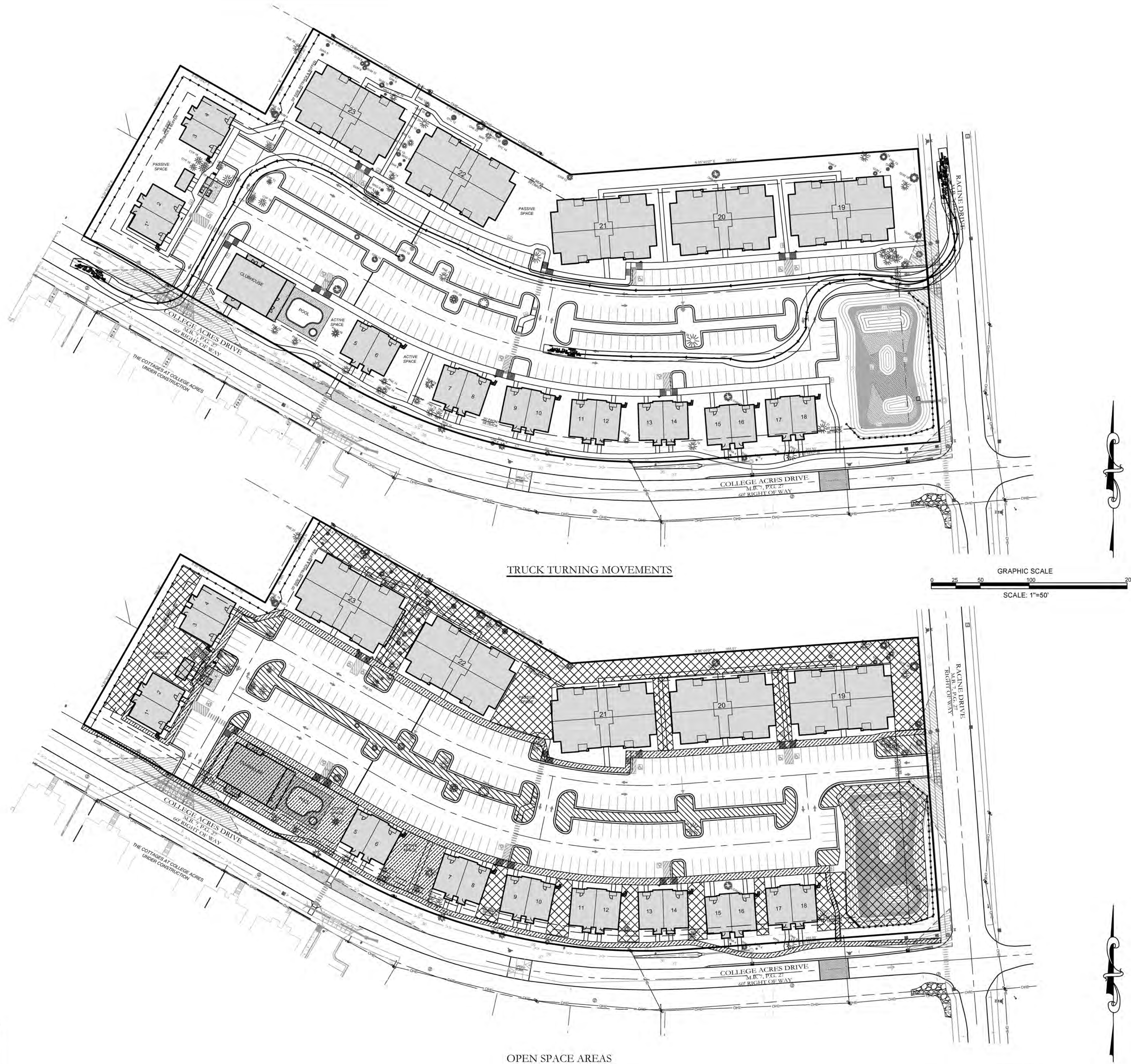
LEGEND:

- ACTIVE SPACE (AMENITY, LOOP WALKS, & TWO OPEN YARDS) TOTAL = 28,181 SF
- PASSIVE SPACE (BUILDING YARDS, TWO OPEN YARDS & WETLAND) TOTAL = 48,367 SF
- REMAINING UNCOVERED LANDS (PLANTING ISLANDS) TOTAL = 12,297

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan
 Date: 11/5/20
 # 2020035
 SWP #: 2020036

Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____



REVISIONS:

CLIENT INFORMATION
 COLLEGE ACRES DEVELOPMENT, LLC
 5217 MARKET STREET
 WILMINGTON, NC 28405

PARAMOUNT
 ENGINEERING INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (C) (910) 791-6760 (F)
 NC License #: C-2846

TRUCK TURNING & OPEN SPACE PLAN
 COLLEGE ACRES APARTMENTS
 COLLEGE ACRES DRIVE
 WILMINGTON, NEW HANOVER CO., NC

PROJECT STATUS

8.29.20	CONCEPT LAYOUT
10.13.20	FINAL DESIGN (10%)
	RELEASED FOR CONSTRUCTION

DRAWING INFORMATION

09.01.20	DATE
1" = 40'	SCALE
JHC	DRAWN
JHC	CHECKED

Professional Seal redacted on electronic copy per City of Wilmington Policy

L-1.1
 PEI JOB#: 19443.PE

RELEASED FOR CONSTRUCTION